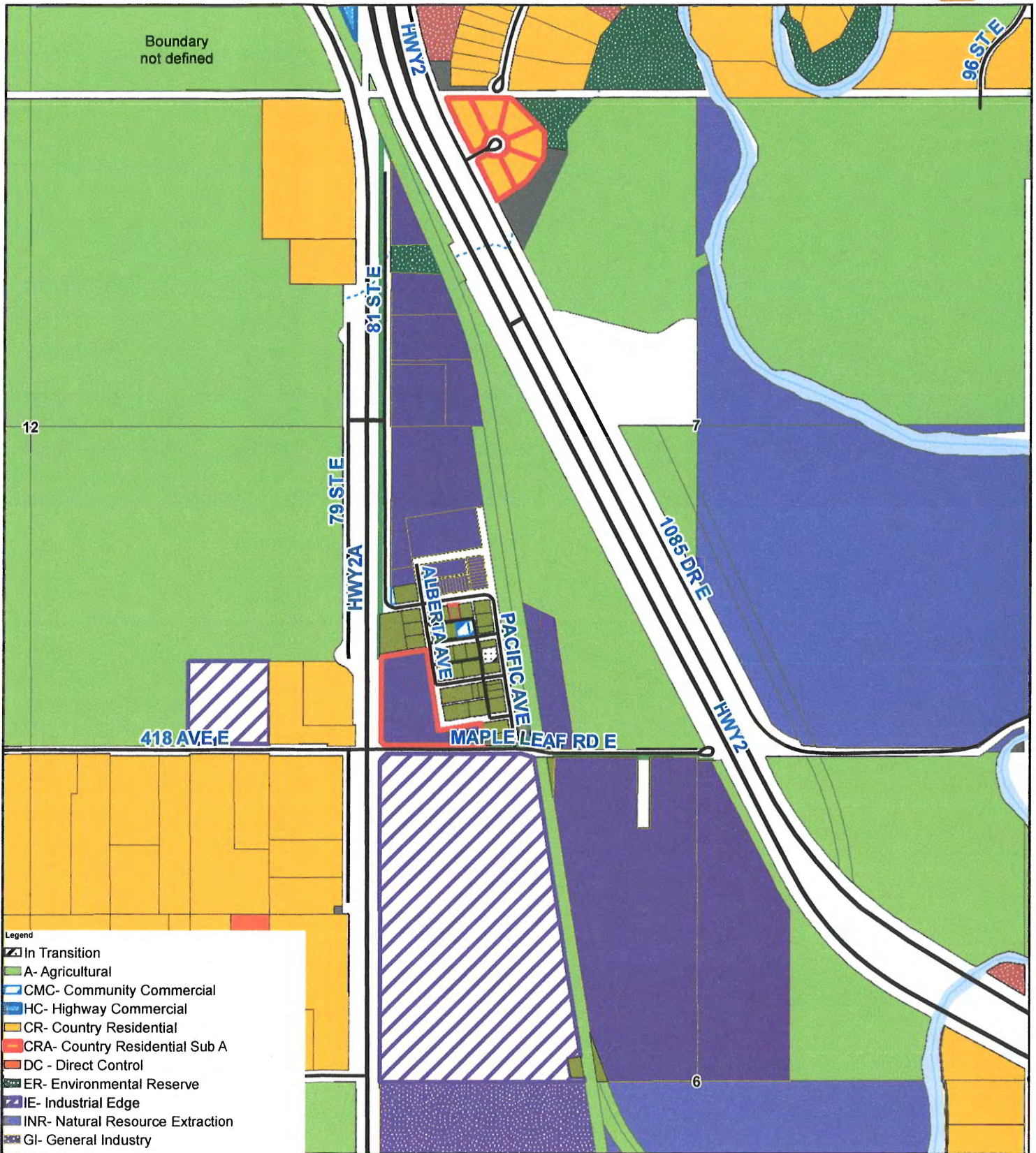




MDF General Project



- Legend
- In Transition
 - A- Agricultural
 - CMC- Community Commercial
 - HC- Highway Commercial
 - CR- Country Residential
 - CRA- Country Residential Sub A
 - DC - Direct Control
 - ER- Environmental Reserve
 - IE- Industrial Edge
 - INR- Natural Resource Extraction
 - GI- General Industry
 - HMI- Hamlet Industry
 - MR- Municipal Reserve
 - PUL- Public Utility
 - RC- Residential Community District
 - RCA- Residential Community Sub-district "A"
 - Hamlet
 - Parcels

Date Printed: 2025-04-07

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FOOTHILLS COUNTY SCREENING STANDARDS



REVISED - ADOPTED BY FOOTHILLS COUNTY COUNCIL - RESOLUTION #251, March 3, 2021

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1.0 INTRODUCTION

2020 Update:

In late 2019, in response to concerns brought forward by business owners in the Highway 2A Corridor, Foothills County Council directed administration to undertake a review and amendment of the Screening Standards. The instructions were to simplify the document, incorporate some flexibility, and reduce the requirements for landscape screening in the Highway 2A corridor.

The Screening Standards had been originally adopted in December 2010 in response to concerns regarding the negative visual impact of RV storage lots and other outdoor storage uses in the County. The document was intended to provide a comprehensive screening strategy for industrial and commercial development in order to preserve the natural beauty of the area. Dillon Consulting provided assistance with the development of the original screening strategy.

The Screening Standards identify the types of development in Foothills County that are considered to be potentially visually obtrusive and would benefit from screening. These “target activities and facilities” include the outdoor storage of vehicles, materials, or other goods, exterior work or assembly areas, waste and recycling areas, loading areas, mechanical and electrical equipment, as well as parking and sales lots.

Based on the categories of target activities and facilities, Dillon Consulting recommended a system consisting of three (3) different screening levels. In order of highest to lowest level of screening they are: full screening, which approximates 100% screening of the property from adjacent properties, partial screening, which achieves about 50% screening, and buffer screening, which should obscure approximately 25% of the development from adjacent roads or properties. A table is provided to assist in determining what level of screening is appropriate for different “target activities and facilities”.

The level of screening, as well as the method of screening is to be proposed by applicants for development and will be evaluated by Council or the Approving Authority. In order to assist the developer in determining how to achieve the desired results, the Screening Standards provide examples of Full, Partial and Buffer screening and a variety of methods that can be used to achieve each of them.



2.0 SCREENING IN FOOTHILLS COUNTY

Screening is defined in **Foothills County's Land Use Bylaw** as:

A fence, earth berm, hedge or trees used to visually and/or physically separate areas or functions.

The Land Use Bylaw also indicates that:

The Development Authority may require that landscaping and/or screening is provided in conjunction with any development, and is addressed as part of the Development Permit application. The intent of landscaping and screening is to contribute to a reasonable standard of appearance for developments, to provide a positive overall image for the County and to encourage good environmental stewardship (Section 9.14.2).

Further,

Landscaping and screening requirements may be applied to commercial and industrial uses. Where landscaping and screening is required, it shall be completed in accordance with the County's "Screening Standards" (Section 9.14.3).

The Land Use Bylaw prescribes landscaping and screening for a number of specific uses including, cannabis production facilities, commercial storage facilities, recreational vehicle storage and dog facilities. There are also a number of land use districts where the completion of landscaping and screening in accordance with the Screening Standards is required including Business Park District, Community Commercial District, Highway Commercial District, Rural Business District, Hamlet Industry District, General Industry District, Industrial Edge District, Natural Resource Extraction District and a number of direct control districts.

These standards are intended to provide guidance to landowners or developers who are making changes to an existing commercial or industrial use, or are proposing a new commercial or industrial use or development, on how they can prevent their business from creating a negative visual impact on surrounding properties. The Screening Standards will help them anticipate if screening might be required at their site, how much screening would be appropriate, and options as to how the screening could be achieved. The Standards also outline requirements for an application.

This document is provided as a guideline to suggest what the screening requirements may be for commercial or industrial development in Foothills County. It should be noted that the requirements are different depending on whether the proposed development is inside or outside of the Highway 2A Corridor. This is because in the Corridor, the entire area is contemplated for industrial or commercial uses so the visual impacts of development are not the same as in other areas where there are likely to be adjacent residential uses. While these Standards provide a good understanding of what may be required; ultimately, Council or the Approving Authority will determine whether screening is required and the appropriate level of screening for any proposal.



3.0 TARGET ACTIVITIES AND FACILITIES

To help applicants determine if screening may be required for their development, a list of the types of activities and facilities for which screening is generally recommended has been compiled. The list is not comprehensive or exhaustive and ultimately Council or the Approving Authority will decide if a proposed development requires screening.

Screening Standards are applied based on the likelihood that the activity or facilities proposed will detract from the visual character of the area or have a negative impact on adjacent development. It should be noted that these standards are for commercial and industrial applications, they are not intended to be applied to Agricultural, General uses or to structures or equipment in support of the same on land that is zoned as Agricultural District.

Target Activities and Facilities:

1. **Outdoor Storage Areas:** Outdoor storage is defined in the land use bylaw as *"the accessory storage of equipment, vehicles, goods, and materials in the open air where such storage of goods and materials does not involve the erection of permanent structures or the material alteration of the existing state of the land"*. This category would include storage areas for heavy equipment, lumber, pipe, tanks, manufactured goods or materials for manufacturing processes, it does not include RV storage.
2. **Vehicle Storage Areas:** This category would include cars, farm equipment, recreational vehicles, tractor trailers, boats etc. It does not include typical parking lots unless vehicles are stored there for an extended period.
3. **Stockpile Areas:** This includes large stockpiles of materials such as sand or aggregate used for industrial purposes, or areas for storing or stockpiling bulk landscaping materials, materials used for manufacturing processes, or those awaiting packaging, as well as finished product waiting to be shipped. *
4. **Exterior Work Areas:** This includes exterior areas for assembly, construction or repair and industrial processing.
5. **Garbage, Recycling, Composting or Waste Areas:** This would include areas for waste disposal, settling ponds, recycling storage or processing and composting sites as well as portable washrooms. Auto Wreckers and similar activities would be covered here as well.
6. **Loading Areas:** This category includes loading docks and bays or other outdoor loading areas for commercial or industrial buildings.
7. **Mechanical and Electrical Equipment:** This would typically include large air conditioning units, ventilation units, transformers, small trash receptacles and other such equipment.
8. **Sales Lots:** This category would include areas used for the storage and display of vehicles or equipment that are available for sale or lease and recognizes the desire to utilize these areas for advertising.
9. **Parking Lots:** This category includes areas designed to accommodate the parking of more than 25 cars.

***Note: Gravel Pits are regulated by Alberta Environment and Parks and must comply with all requirements under the applicable provincial legislation as well as any conditions specific to an approval granted by AEP.**



Examples of each type of Target Activities or Facilities:



Category 1: Outdoor Storage Areas

Figure 3.1



Category 1: Outdoor Storage Areas

Figure 3.2



Category 2: Vehicle Storage Areas

Figure 3.3



Category 2: Vehicle Storage Areas

Figure 3.4





Category 3: Stockpile Areas

Figure 3.5



Category 4: Exterior Work Areas

Figure 3.6



Category 5: Garbage, Recycling, Composting or Waste Areas

Figure 3.7



Category 5: Garbage, Recycling, Composting or Waste Areas

Figure 3.8





Category 6: Loading Areas

Figure 3.9



Category 7: Mechanical & Electrical Equipment

Figure 3.10



Category 8: Sales Lots

Figure 3.11



Category 9: Parking Lots

Figure 3.12



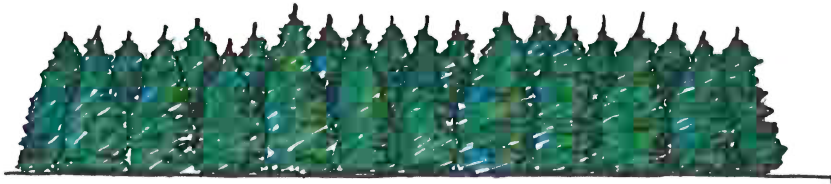
4.0 LEVELS OF SCREENING

Depending on the category of target activity or facility and its location there are three (3) different levels of screening that could be implemented. In order of highest to lowest level of screening they are: full screening, which approximates 100% screening of the property from adjacent roads or properties, partial screening, around 50% screening from adjacent roads or properties, and buffer screening, which should obscure approximately 25% of the development from adjacent roads or properties. A more detailed description of the three types of screening follows.

4.1 FULL SCREENING

Full screening is used to provide a complete visual barrier of a selected area, using fences, walls, berms, tightly spaced evergreen plant material or some combination of these methods. Full screening may also be provided by locating the activity behind a building or structure.

Full screening may be considered appropriate when the intent is to fully block the view from the adjacent roads or lands. Garbage storage areas and electrical or mechanical equipment locations are examples of areas that may benefit from full screening. There may be circumstances where full screening is used in conjunction with partial or buffer forms of screening on a site.



Closely spaced evergreen trees are one method of providing full screening

4.2 PARTIAL SCREENING

Partial screening is used when the intent is to visually block approximately 50% of the activity or facility from adjacent properties or roadways. A partial screen provides a sense of visual transparency between portions of the site and adjacent roads/lands. This moderate level of screening is appropriate for a variety of sites.

A combination of structures, walls/ fences, coniferous/deciduous plant material and earth berms may be used to create partial screening by blocking approximately 50% of the site from view. Fences may allow for 50% opacity, trees are planted farther apart and earth berms may only be half the height necessary to block the view. A hedge of deciduous shrubs, such as lilacs or Caragana provides significant coverage for 50% of the year. A combination of multiple screening elements may be used to create an interesting visual barrier from both inside and outside the site.





A mixed landscape is an appropriate method of providing partial screening

4.3 BUFFER SCREENING

Buffer screening is used to provide a low level of screening or 'landscape softening'. Vehicle sales lots and commercial parking areas are suggested examples of areas that may benefit from buffer screening.

Fences, low walls, earth berms and a mix of deciduous and coniferous trees and shrubs can be used as components of buffer screening.



A landscape buffer screen is one method of providing the 25% screening suggested for buffer screening

5.0 DETERMINING THE SUGGESTED LEVEL OF SCREENING

In Section 3 of this document, a number of types of activities and facilities for which screening may be required were described. Some of these would benefit from minimal screening, while for others, a more complete screening would be appropriate.

The precise level of screening that will be required of a landowner or developer will be at the discretion of Council or the Approving Authority and will be dependent upon such factors as the visibility of the site as well as adjacent land uses. A general guideline for what will be required is provided in the following table. To determine what level of screening is required:

First: look up the activity and location in Table 5.1.

Then: answer the qualifying questions to determine if the level should/may be adjusted.

TABLE 5.1 SCREENING LEVELS BY ACTIVITY OR FACILITY CATEGORY

Category		Location		
		Highway 2A General Area*	Highway 2A Enhanced Area*	Outside Highway 2A Corridor
1	Outdoor Storage Areas	Partial	Partial	Full
2	Vehicle Storage Areas	Partial	Partial	Full
3	Stockpile Areas	Buffer	Partial	Partial
4	Exterior Work Areas	None	Buffer	Partial
5	Garbage, Recycling, Composting or Waste Areas	Partial	Full	Full
6	Loading Areas	None	Buffer	Partial
7	Mechanical & Electrical Equipment	None	Full	Full
8	Sales Lots	None	None	Buffer
9	Parking Lots	None	Buffer	Partial

* The Enhanced Area of the Highway 2A Corridor includes lands in the Highway 2A Industrial ASP area that are in the Industrial Edge, Gateway Interface or the Industrial / Commercial policy areas as Shown on the Map in **Appendix 3**. The General Area includes all remaining lands in the ASP area.

Note: Foothills County Council or the Approving Authority may require a higher or lower level of screening than is indicated in the chart.



QUALIFYING QUESTIONS FOR TABLE 5.1

Is the proposed development:

1	In or adjacent to a hamlet?	If yes, may need to increase level of screening.
2	In an intermunicipal development plan (IDP) area?	If yes, may need to increase level of screening.
3	In an Area Structure Plan or Area Concept Plan area that addresses design guidelines or screening?	If yes, may need to increase or decrease level of screening accordingly.
4	Located on a major road or provincial highway?	If yes, may need to increase level of screening.
5	Located adjacent to residential development?	If yes, may need to increase level of screening.
6	Located adjacent to a natural area?	If yes, may need to increase level of screening.
7	Located near a major recreational facility?	If yes, may need to increase level of screening.
8	On a site that has rolling terrain?	If yes, may be able to decrease level of screening depending on location of visually obtrusive activity or facility.
9	On a site that is well treed?	If yes, may be able to decrease level of screening depending on location of visually obtrusive activity or facility.
10	On a large site that provides setback between target use and adjacent parcels?	If yes, may be able to decrease level of screening on the sides where there is a great distance from target activity to property lines
11	Adjacent to similar uses, or other uses that may be considered visually obtrusive?	If yes, may be able to decrease level of screening or eliminate screening at least on sides adjacent to similar or visually obtrusive use.
12	A sales lot?	Screening requirements may be reduced along the road side of the parcel for advertising purposes. However, may need to be increased along any boundaries adjacent to residential properties.
13	In a location where screening would be ineffective or could not achieve the desired effect (for instance in an area much lower than the surrounding lands or roads)?	Screening requirements may be reduced or eliminated but landscaping to improve the appearance of the site may still be required.



Following are some examples of how to utilize Table 5.1 and the qualifying questions:

Example 1:

There is a proposal for an RV storage facility in the Highway 2A Corridor General Area. This would fall under Category 2 - Vehicle storage areas. For Category 2 in the General Area of the Highway 2A Corridor Table 5.1 suggests partial screening.

However, the proposed facility is located on a flat site with no trees that is on a highway and adjacent to a residential development. Thus, Council or the Approving Authority may, at their discretion, require full screening.

Example 2:

There is a proposal for a restaurant within a Hamlet. The restaurant will require a large mechanical fan off the kitchen, a used grease collection bin and a garbage dumpster.

According to Table 5.1, the mechanical equipment and the garbage/waste area will likely require full screening. As the proposed site is within a hamlet and located adjacent to residential lots it is likely that Council or the Approving Authority will adhere to the recommended full screening.

Example 3:

There is a proposal for a car dealership on a parcel along Highway 2A north of Okotoks, the subject parcel is outside of the IDP area and presently abuts country residential parcels on two sides. This would fall under category 8 – Sales Lots.

According to Table 5.1, sales lots outside of the Highway 2A Industrial Corridor require partial screening. Looking at the qualifying questions #5 and #12 are relevant in this case. In consideration of question 5, since the use is adjacent to residential development, screening may need to be increased along the boundary adjacent to the residential development. In consideration of #12, screening could be reduced along the road side. The recommendation in this case would be to increase the screening level from partial to full screening on the boundaries of the development that abut residential lands and reduce the screening to buffer level or even none along the road side of the development.



6.0 SCREENING METHODS

There are four methods that are generally considered appropriate for screening, these are:

1. Fence or Wall,
2. Earth Berm,
3. Landscaping,
4. Combination.

Once the appropriate level of screening (full, partial or buffer) has been determined using the table and questions in Section 5, the next step is to determine which method will be used to achieve the desired level of screening. The following table describes how the three levels of screening may be achieved using each of the four screening methods.

TABLE 6.1 – SCREENING METHODS

Screening Method	Screening Level	Description	Pros	Cons
Fence or Wall	Full Screening	Solid constructed fence or wall of sufficient height and length to obscure the activity or facility that requires screening. Acceptable Materials Include: Concrete Block, Concrete Panels, Brick, Wood, Aluminum, PVC, Stucco Note: Chain-link fencing with vinyl inserts is not considered appropriate outside of the General Area of the Highway 2A Corridor.	Attractive and generally low maintenance requirements.	Relatively large initial expense. May be difficult to build on rolling or densely vegetated land.
Fence or Wall	Partial Screening	Solid constructed fence or wall of sufficient height and length to obscure approximately 50% of the activity or facility that requires screening. Acceptable Materials: See above	See above	See above
Fence or Wall	Buffer Screening	Sections of fence or wall, may be only partially solid – may have sections of wrought iron or lattice or openings which provide for views through. It must obscure approximately 25% of the activity or facility that requires screening. Acceptable Materials: See above and add Lattice, Wrought Iron and Glass Block.	See above	See above



Earth Berm	Full Screening	A mound or bank of earth of sufficient length and height to obscure all of the activity or facility that requires screening.	Relatively inexpensive. Very low maintenance requirements. May mitigate noise as well.	Not attractive unless combined with landscaping and/or hardscaping. May need to remove existing vegetation to accommodate.
Earth Berm	Partial Screening	A mound or bank of earth of sufficient length and height to obscure approximately 50% of the activity or facility that requires screening.	See above	See above
Earth Berm	Buffer Screening	A mound or bank of earth of sufficient length and height to obscure approximately 25% of the activity or facility that requires screening.	See above	See above
Landscaping	Full Screening	Densely planted rows or groupings of evergreen trees of sufficient height and length to completely obscure the activity or facility that requires screening.	Attractive, and works on flat or rolling terrain and can work with existing vegetation.	Relatively large initial expense. Maintenance and water requirements.
Landscaping	Partial Screening	Rows or groupings of trees and shrubs, both evergreen and deciduous of sufficient density to obscure approximately 50% of the activity or facility that requires screening.	See above	See above
Landscaping	Buffer Screening	Rows or groupings of trees and shrubs, both evergreen and deciduous of sufficient density to obscure approximately 25% of the activity or facility that requires screening.	See above	See above
Combination	Full Screening	Utilizing a combination of two or more of the following of sufficient density to entirely obscure the activity or facility that requires screening: fencing or walls, berms, and rows or groupings of trees and shrubs (evergreen and/or deciduous).	Potentially the most attractive option.	May be expensive. Water and maintenance requirements may be significant particularly if plants on top of berms.
Combination	Partial Screening	Utilizing a combination of two or more of the following of sufficient density to obscure approximately 50% of the activity or facility that requires screening: fencing	See above	See above



		or walls, berms, and rows or groupings of trees and shrubs (evergreen and/or deciduous).		
Combina- tion	Buffer Screening	Utilizing a combination of two or more of the following of sufficient density to obscure approximately 25% of the activity or facility that requires screening: fencing or walls, berms, and rows or groupings of trees and shrubs (evergreen and/or deciduous).	See above	See above

6.1 SCREENING METHODS - SPECIFICATIONS

FENCES AND WALLS:

1. Screening fences or walls must comply with Foothills County's Land Use Bylaw.
2. Fences and walls must meet development setbacks to property lines, municipal roads and highways as outlined in Section 9.14 of the Land Use Bylaw unless relaxed through the development permit process.
3. Maximum fence height is 3.05m (10 ft.) unless otherwise accepted by the Approving Authority.
4. Solid metal fences must have capping along unfinished edges on top and bottom.
5. Fences and walls shall be constructed with components of sufficient size, and strength to prevent sagging or leaning.
6. Screening fences or walls shall be consistent in quality, design and character with buildings on the same site.
7. Fences or walls should incorporate pillars or articulation for visual interest.
8. Security toppers, if installed, shall be angled wire or as accepted by the Approving Authority.
9. No razor wire is permitted on screening walls or fences.
10. Chain link fences with vinyl slats will generally not be supported as screening fences.
11. Where significant lengths of uninterrupted fencing or walls are required, pockets of landscaping are encouraged.

EARTH BERMS:

12. An earth berm shall not impact drainage on the parcel it is located on, unless supported by appropriate studies to the satisfaction of the County's Public Works department and the Approving Authority.
13. An earth berm shall not negatively impact drainage on an adjacent parcel.
14. Earth berms shall be constructed with a maximum 3:1 slope on sides and ends (3 horizontal units for each vertical unit).
15. Earth berms shall be designed and constructed to the satisfaction of the Approving Authority.



16. Earth berms shall be covered with turf, ground cover or rip-rap to reduce erosion.
17. Earth berms shall be seeded with a seed mix approved by Foothills County's Agricultural Fieldman or their designate. Hydro-seeding or drill seeding is strongly encouraged.
18. If landscaping is incorporated into an earth berm, locating it on the top of the berm is discouraged unless irrigation with harvested stormwater or reclaimed water is available.

LANDSCAPING:

19. Potable water shall not be used to irrigate landscaping used for screening.
20. Landscape screening shall be comprised of drought tolerant plant material.
21. Trees and shrubs shall be chosen and planted so that at maturity they do not interfere with overhead or underground utility service lines or traffic site lines.
22. Planting beds for landscape screening shall incorporate appropriate ground cover to the satisfaction of the Approving Authority, to reduce weed growth.
23. Ground cover materials shall be appropriately contained to prevent migration and shall be topped-up or replaced as necessary to maintain function and appearance.
24. Minimum size for coniferous trees is 1 meter height, 600mm root ball diameter
25. Minimum #5 pot for all shrubs;
26. Minimum 40mm caliper for deciduous trees, 600mm root ball diameter
27. All planting beds should be mulched to a depth of 75mm.
28. Minimum 125mm depth of topsoil for sod, minimum 150mm depth of topsoil for seed;
29. Shrubs to be in 600mm depth topsoil bed;
30. Landscaping shall be regularly maintained by the property owner and dead materials shall be replaced annually.

6.2 SCREENING METHODS - EXAMPLES



Fence or Wall Screen – Full Screening



Fence or Wall Screen – Partial Screening

Note: Decreasing height and/or length or creating gaps in fencing can change a wall or fence from full to partial screen or partial to buffer screen.



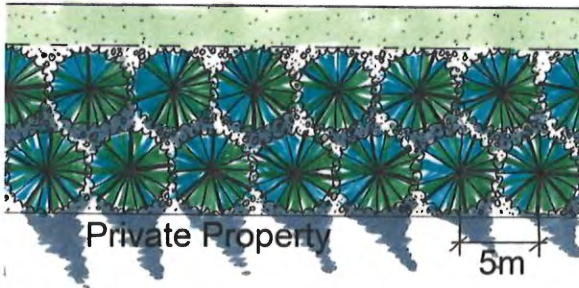


Fence or Wall Screen – Buffer Screening



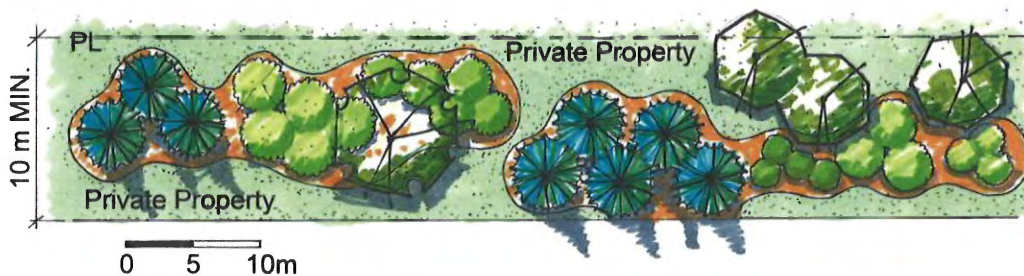
Earth Berm Screen – Full or Partial Screening

Note: Decreasing height and/or length can change a berm from full to partial or buffer screen.



Landscaping Screen – Full Screen

Note: Full screening using landscaping alone is very difficult in most areas of Foothills County. Full screening using a combination of landscaping with fencing or earth berms is suggested as more attainable.



Landscaping Screen – Partial Screen





0 5 10 m
Landscaping Screen – Buffer Screen



Combination Screen – Full Screening (Fence with Landscaping)



Combination Screen – Buffer Screen (Berm with Landscaping)

Note: Placing landscaping on top of berms is not recommended unless provisions can be made for irrigation with non-potable or reclaimed water.



0 5 10 m
Combination Screen – Full, Partial or Buffer Screening (Earth Berms and Mixed Planted Landscaping)



7.0 DEVELOPING & SUBMITTING THE SCREENING PLAN

A complete application for a proposed development that is likely to require screening should include the Proposed Screening Plan. This scaled drawing of the site will show proposed access, any rights of way or easements existing on the site, any required setbacks and all existing and proposed development. It will clearly indicate which areas are likely to require screening, the type of screening proposed (full, partial or buffer screening), and the methods that will be used to achieve the screening. It may be desirable to have a Professional Landscape Architect prepare the Proposed Screening Plan particularly if the proposed development is likely to require extensive screening.

Section 6.0 of this document provides an overview of different methods of screening and how they can be used to achieve the desired level of screening. Following are some suggested steps for developing and submitting a Proposed Screening Plan.

STEP 1:

Prepare a detailed site plan to scale, or approximately to scale, that includes:

- Legal description and boundaries of project parcel including dimensions;
- All required setbacks from property lines;
- Any easements or rights of way existing on the site (e.g. access easements, power lines or utility rights of way);
- Existing and proposed access to the site with adjacent roads labelled;
- Existing and proposed internal roadways, driveways, parking areas and loading areas;
- The locations of all existing and proposed buildings and other improvements such as retaining walls, fences, gates, signs, pathways etc. (labelled as existing or proposed);
- The location of any significant natural site features, for example areas with significant slope, water courses or wet areas, areas with existing trees or shrubs etc.;
- The location of any existing or proposed product display, storage, refuse, recycling and/or exterior work areas;
- The locations of existing and proposed landscaped areas;
- Site contours or grading as required;
- Any other information as required by Council or the Approving Authority;

STEP 2:

Determine the suggested level of screening by referring to Table 5.1 and answering the accompanying qualifying questions. This should result in an idea of the likely screening requirements.



STEP 3:

Referring to Table 6.1 – Screening Methods and the Screening Methods examples and specifications in Section 6.0 of this document, determine the most appropriate method(s) for achieving the level of screening that is likely to be required.

STEP 4:

Add the proposed screening to the detailed site plan to create a Proposed Screening Plan. Some examples of screening plans are included in **Appendix 1** for reference. The Plan should include a schedule that identifies how the screening will be constructed including construction details for walls, fences or berms and a plant list identifying species, quantities and sizes of trees and shrubs to be used, if any. A Maintenance Plan for the screening should also be provided.

STEP 5:

Submit the Proposed Screening Plan in both 11x17 hard copy and digital pdf (or equivalent) as part of a development permit application for the proposed development. Further to the approval of the Proposed Screening Plan, applicants will generally be required to execute a Development Agreement regarding the construction of the screening in advance of commencing construction. This agreement may include provisions related to the execution of other agreements(s), proof of required insurance, payment of review fees, terms for maintenance and submission of a surety. Provisions regarding screening may also be incorporated into an overall Development Agreement for the whole development for which a development permit is being sought.

Note on Plant Species:

A list of plant material that is considered suitable for Foothills County is provided, in **Appendix 2**. This list includes the hardiness (by zone) to assist with plant selection for specific sites. More exposed areas will tend to require hardier plants more suited to colder zones than sheltered locations. The use of native plant material is usually preferred, however, the number of native species is quite limited and many foreign species have been successfully used in Alberta for decades.

The mature size of the plant material is given, but these are average sizes only. Some plants will grow to surpass these sizes, while some will not achieve the average sizes. The more favourable the growing conditions, the more likely the plants will achieve or surpass average sizes.

Species not included on the plant list may be used at the discretion of the Approving Authority.



8.0 MAINTENANCE REQUIREMENTS

Once the screening has been installed according to specifications, there will be a maintenance requirement to ensure that it does not become unsightly due to dead or dying vegetation, an abundance of weeds, or fences or walls that are in need of maintenance or repair. The ongoing maintenance and upkeep of all landscaping and screening is expected to continue for the life of the project and is the responsibility of the property owner.

The maintenance plan for the screening, including procedures and schedules for maintenance should be included in the Proposed Screening Plan that is submitted as part of the development permit application. Maintenance requirements may also be included as part of a development agreement. As a guideline, or in absence of a development agreement, the following are the general maintenance requirements for screening installations.

LANDSCAPING:

- All plant material is to be kept in a healthy, vigorous growing condition;
- Un-mulched beds and tree pits must be freshly cultivated and free of weeds, rubbish, and debris;
- Mulched beds should be free of weeds, rubbish and debris, the mulch should be contained with a barrier so it does not migrate and should be replenished as required to maintain function and appearance;
- Remove all dead branches. Prune broken portions of branches back to live material;
- Replace dead trees and shrubs annually.

FENCING AND HARDSCAPING:

- Fences, walls or other structures used in screening must be kept in good repair; any damage from weather, wildlife, livestock, traffic accidents or vandalism must be repaired in a timely manner.
- Fences or walls should be repainted or refinished at such time as they begin to appear unsightly from age or degradation.



9.0 CONCLUSION

The purpose of the Screening Standards is to provide guidance to landowners or developers who are operating or proposing to operate a commercial or industrial enterprise anywhere in Foothills County. The suggested level of screening for a particular use will vary depending on its location, the type of surrounding development and the individual site conditions. The goal is to prevent businesses from creating a negative visual impact on surrounding properties or along major roads or highways. It should be noted that the screening requirements in the Highway 2A Corridor are generally less than elsewhere for similar types of development. This is due to the nature of that area as an established industrial area.

These guidelines were developed to help protect the visual quality of the lands in the County and are not intended to impose undue hardship on business owners. The guideline package may assist applicants for commercial or industrial projects in anticipating if screening might be required for their project, and provide guidance to allow them to successfully navigate the design and approvals process.

Foothills County Council or the appointed Approving Authority will generally consider a Proposed Screening Plan submitted by a developer as part of the overall development permit application. They will determine, at their discretion, if and how much screening is required based on the particulars of the specific development. The goal is to work with applicants to ensure that future developments maintain or enhance the visual quality of Foothills County and to preserve our rural character for future generations.



APPENDIX 1 - SAMPLE SCREENING PLANS

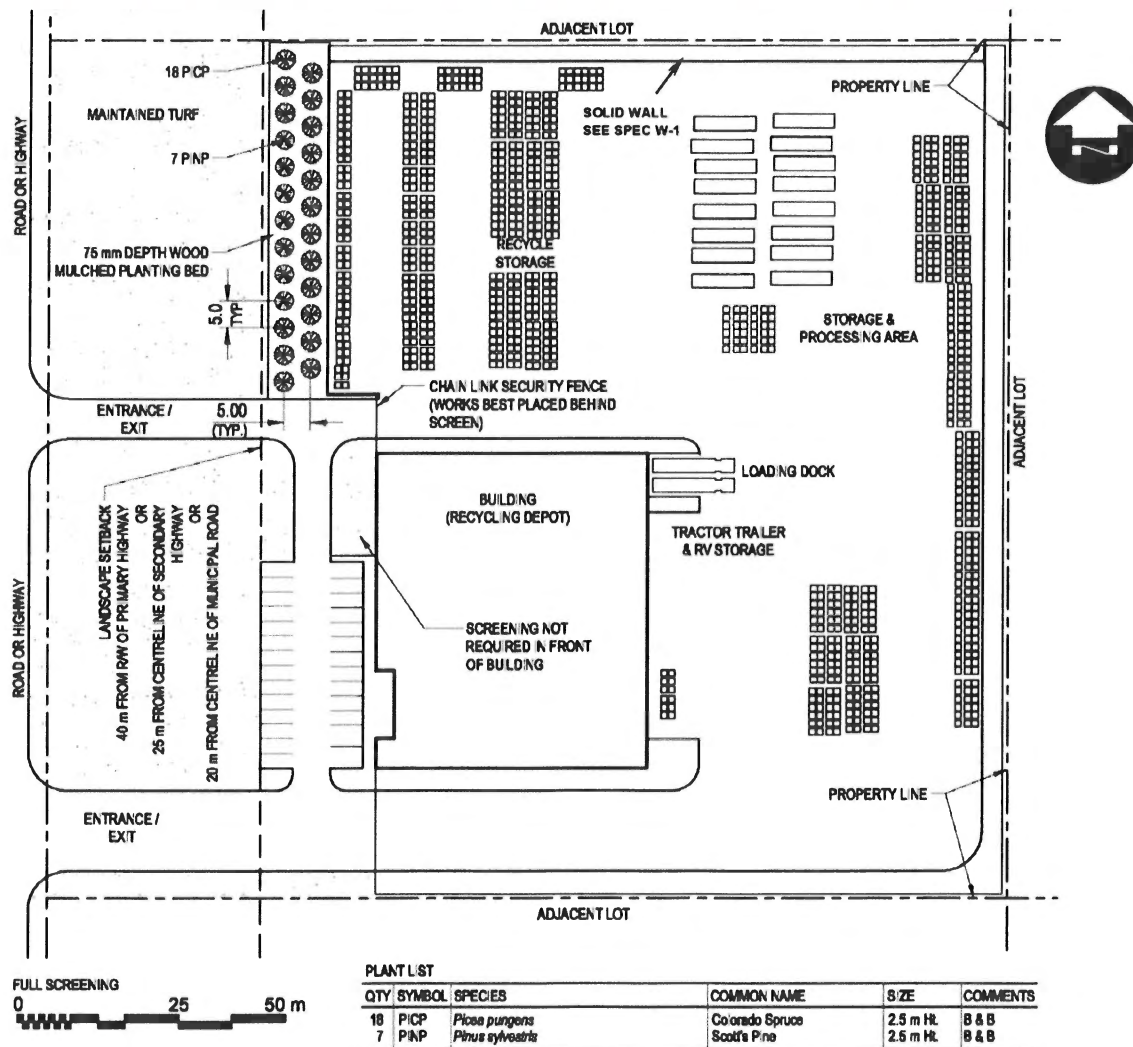
SAMPLE SCREENING PLAN - FULL SCREENING

This example shows a hypothetical recycling facility that is proposed for lands in the General Area in the Hwy 2A Corridor. The exterior storage area and processing & storage area of this facility fall under Category 5 - Garbage, recycling, composting or waste areas which according to Table 5.1 require Partial Screening in the General Areas of the Hwy 2A Corridor.

This facility is proposed adjacent to Hwy 2A which is a Provincial Highway so the level of screening required along that side has been increased to full screening. A double row of evergreen trees is proposed to accomplish this.

The adjacent use to the north is in the Enhanced Area of the corridor and is designated as Business Park so full screening is required on that side, a solid wall with brick pillars is proposed to meet this requirement.

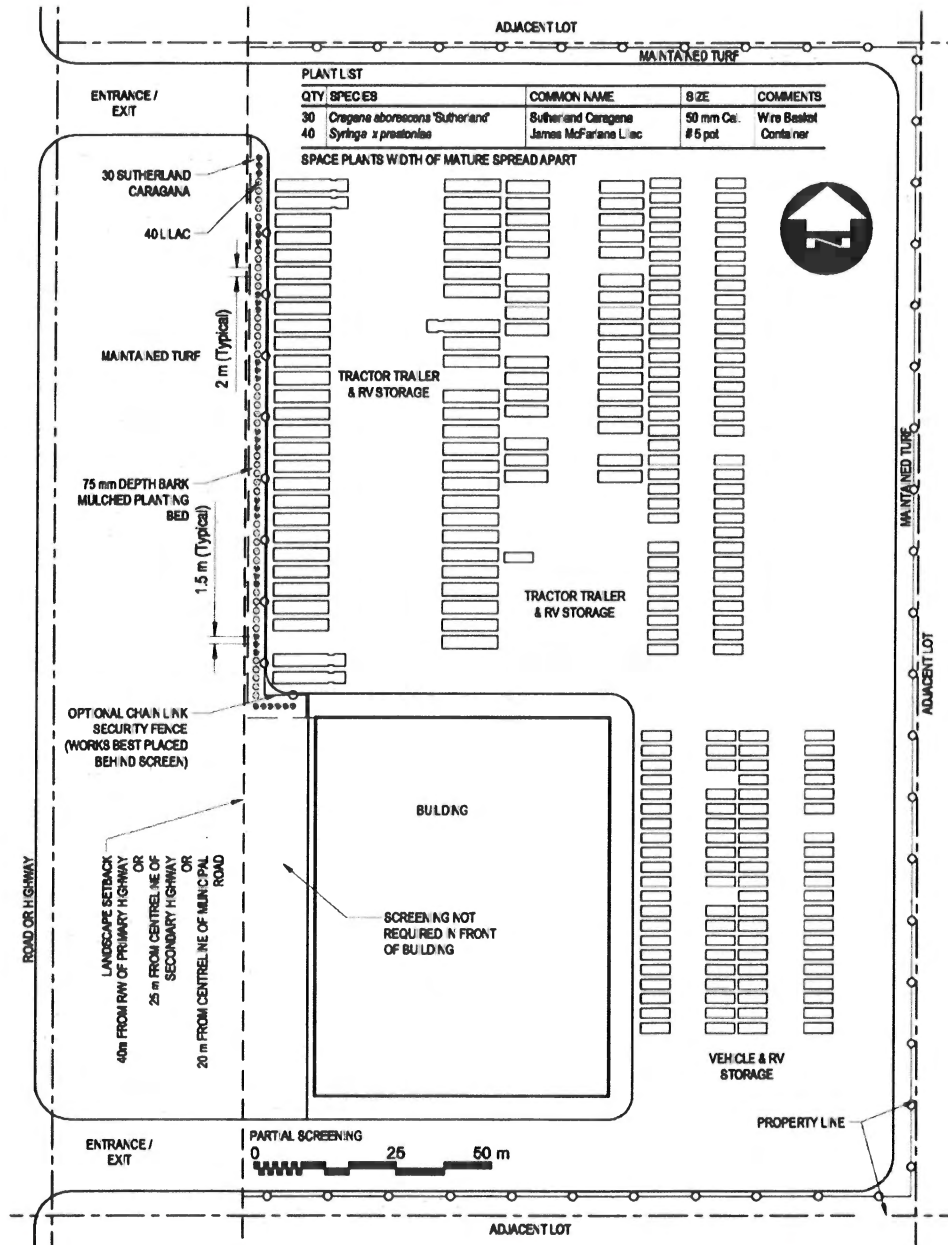
The adjacent uses to the east and south are considered compatible uses and it was determined that screening on those sides was not required so a chain link security fence is proposed there.



SAMPLE SCREENING PLAN - PARTIAL SCREENING

This hypothetical proposal is for a Tractor Trailer and RV storage facility in the General Area of the Hwy 2A Corridor. This use falls under Category 2 - Vehicle parking and storage areas, which according to Table 5.1 require Partial Screening in the General Areas of the Hwy 2A Corridor. This facility is proposed on an internal road and is not visible from the highway so the level along the road does not need to be increased. It is proposed that the partial screening required along the road side of the facility will be achieved by planting a hedge of Caragana and Lilac.

All the adjacent lots are designated as General Industry and the uses are considered compatible industrial uses and so the level of screening along those sides was reduced and screening was deemed not required.

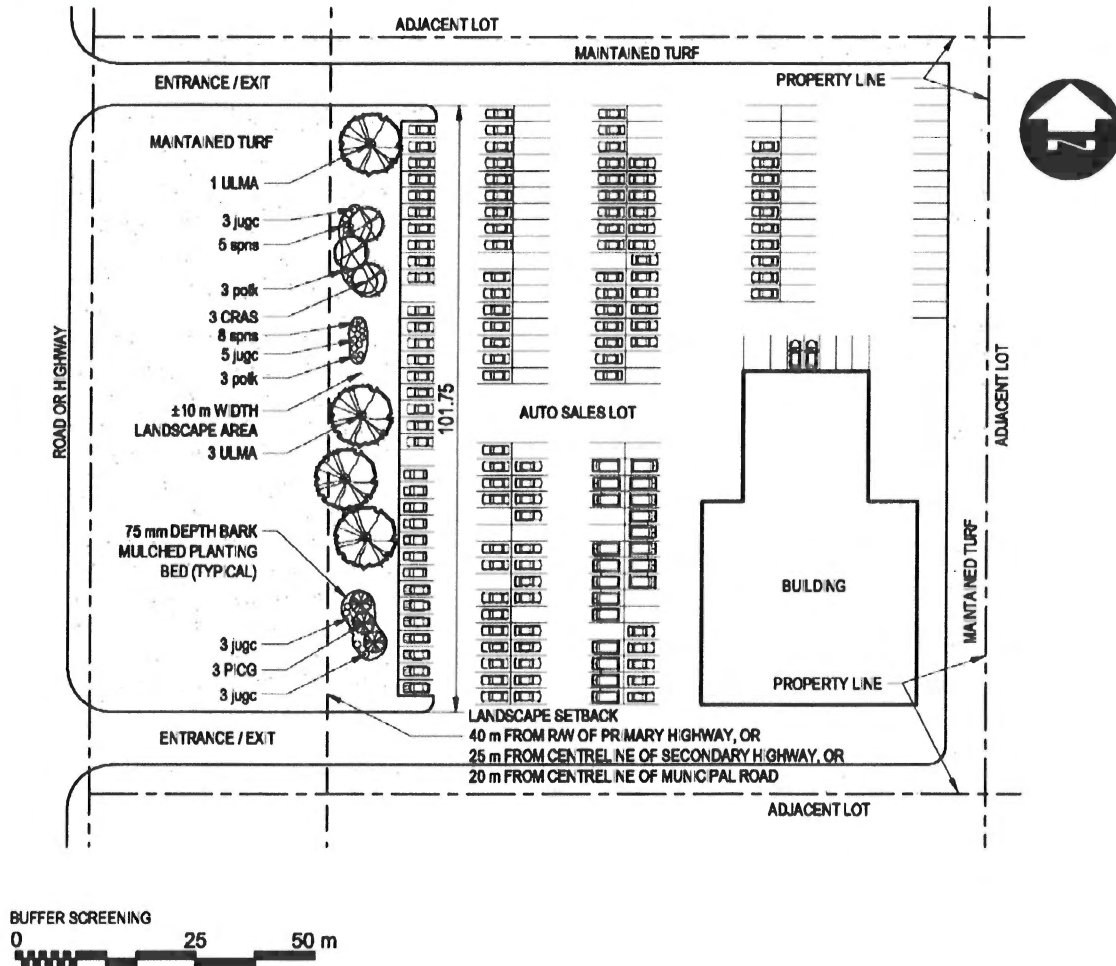


SAMPLE SCREENING PLAN - BUFFER SCREENING

This hypothetical proposal is for a car dealership outside of the Highway 2A Corridor falls under Category 8 - Parking and sales lots. According to Table 5.1 for this use outside of the 2A Corridor, partial screening is suggested.

In this case, the proposal is located in an Area Concept Plan (ACP) area. This ACP contemplates locating a number of similar uses in the same area and provides design guidelines that call for buffer screening along the road side and no screening of property lines adjacent to parcels with compatible land use.

The buffer screening is proposed using a mixture of trees and shrubs that provide select views into the sales lot from the adjacent road.



PLANT LIST

QTY	SYMBOL	SPECIES	COMMON NAME	SIZE	COMMENTS
3	CRAS	<i>Crataegus succulenta</i>	Fleshy Hawthorne	50 mm Cal.	Wire Basket
3	PICG	<i>Picea glauca</i>	White Spruce	2.5 m Ht.	B & B
4	ULMA	<i>Ulmus americana</i>	American Elm	50 mm Cal.	Wire Basket
SHRUBS					
12	jugc	<i>Juniperus horizontalis</i> 'Gold Coast'	Gold Coast Juniper	# 2 pot	Container
6	polk	<i>Potentilla fruticosa</i> 'Katherine Dykes'	Katherine Dykes Potentilla	# 2 pot	Container
13	spns	<i>Spirea nipponica</i> 'Snowmound'	Snowmound Spirea	# 2 pot	Container

100 m X (3 SMALL SHRUBS + 1 TREE / 10 m) = 30 SHRUBS + 10 TREES
33% OF PLANTS ARE CONIFEROUS (EVERGREEN)



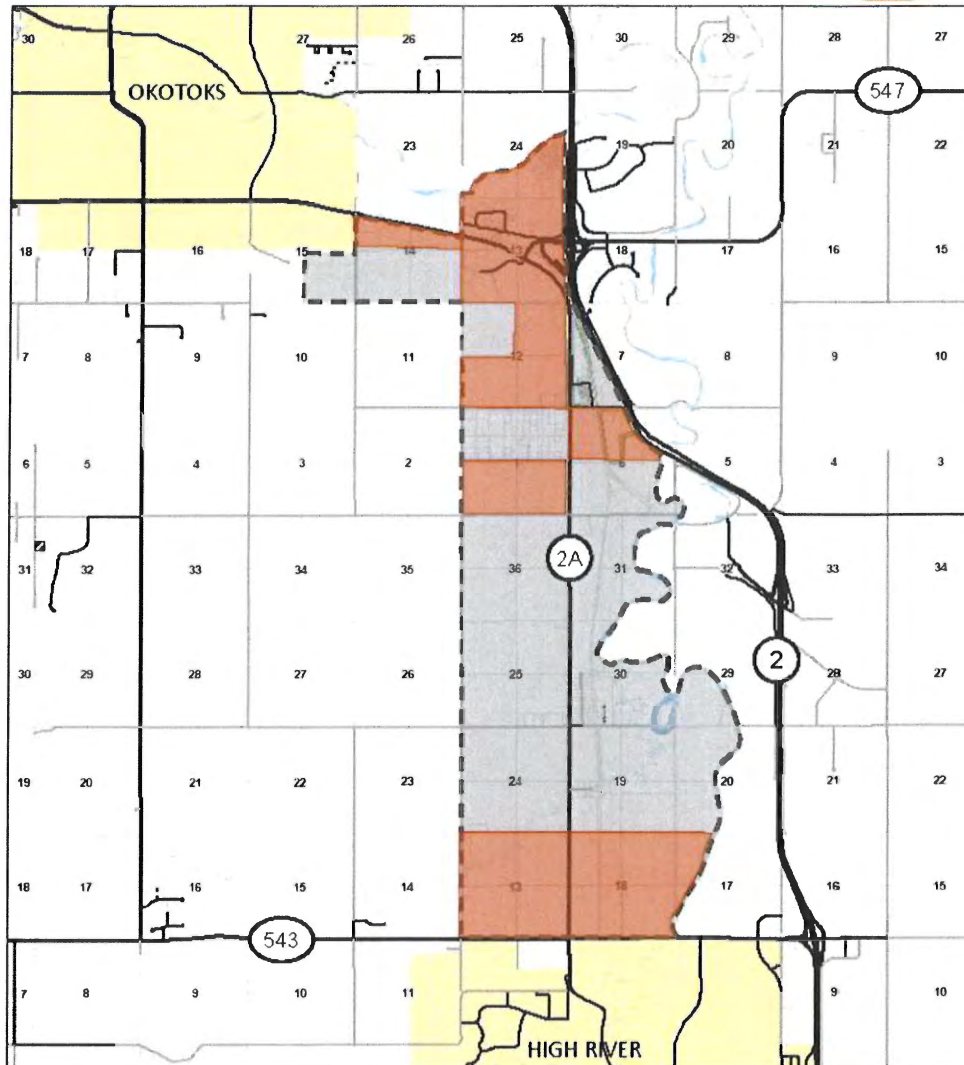
APPENDIX 2 - PLANT LIST

Scientific Name	Common Name	Spread (m)	Zone	Height (m)
Deciduous Trees				
<i>Crataegus x species</i>	Hawthorn	4	3	5
<i>Fraxinus x species</i>	Ash	3	2-3	10
<i>Malus x species</i>	Crabapple trees, varies and	3	2	5
<i>Populus x species</i>	Poplar and Aspen species, various cultivars.	12	2-3	12
<i>Salix pentandra</i>	Laurel-Leaf Willow	12	2-3	12
<i>Sorbus x species</i>	Mountain Ash, various cultivars	5	2	8
Evergreen Trees				
<i>Picea pungens</i>	Colorado blue Spruce, various cultivars	5	2	20
Evergreen Shrubs				
<i>Juniperus x species</i>	Juniper shrubs, various cultivars	2	2	0.3
<i>Pinus x species</i>	Pine shrubs, various cultivars	5	4	10
Deciduous Shrubs				
<i>Amelanchier x species</i>	Saskatoon	4	2	5
<i>Aronia melanocarpa</i>	Chokeberry	1	3	1.5
<i>Berberis x species</i>	Barberry, various cultivars	1.3	3	1.3
<i>Eleagnus commutata</i>	Wolf Willow	2	2	2
<i>Hippophae rhamnoides</i>	Sea Buckthorn (male and female)	4	2	4
<i>Physocarpus x species</i>	Ninebark	1	2	1.3
<i>Potentilla fruticosa x variety</i>	Potentilla	1	2	1
<i>Rosa rubrifolia</i>	Redleaf Rose	1.2	3	1.2
<i>Rosa woodsii</i>	Woods Rose	1	2	1
<i>Sambucus x species</i>	Elder, various cultivars	3	2	3
<i>Sorbaria sorbifolia</i>	False Spirea	2	2	2
<i>Sorbus decora</i>	Showy Mountain Ash (shrub)	4	3	5
<i>Spiraea x species</i>	Spirea, various cultivars	1	2-3	1
<i>Symphoricarpos albus</i>	Snowberry	1	2	1.2
<i>Symphoricarpos occidentalis</i>	Buckbrush	1	1	1.2
<i>Syringa vulgaris</i>	Common Lilac	2	2	2.5
<i>Viburnum x species</i>	Cranberry, various cultivars	3	3	3



APPENDIX 3 - HWY 2A INDUSTRIAL ASP POLICY AREAS

Map 1 - Highway 2A Industrial ASP Policy Areas



LEGEND

- HWY 2A INDUSTRIAL ASP AREA
- GENERAL AREAS
- ENHANCED AREAS

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Data Sources include Municipal Records and AtlasIS.

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APPENDIX 4 - WARNING: UTILITY & PIPELINE LOCATIONS

As with any activity that requires excavation, it is of paramount importance that you contact **Alberta One Call** at least 3 working days prior to commencing work on any screening installation to request that the buried utilities on your property be located and marked. It's easy and there is no charge. Requests can be submitted by phone or on their website.

You will need to have the following information ready:

- your dig area information (address or legal land description, whether you will be digging on public or private property, which portion of the site you will be digging on etc.)
- the type of work you are doing and
- the date you require locates to be completed by

Please note: It is the excavator's responsibility to make sure there is no damage to the located utilities during excavation, and placing a request with the One Call Centre does not remove that responsibility.

CALL BEFORE YOU DIG!

Telephone: 1-800-242-3447

Website: <http://www.albertaonecall.com/submit-a-locate-request/>



SECTION 15 INDUSTRIAL DISTRICTS

15.1 HAMLET INDUSTRY DISTRICT

HMI

15.1.1 PURPOSE AND INTENT

To accommodate a wide range of industrial and accessory uses within the boundaries of a Hamlet. Any nuisance factor should not extend beyond the boundaries of the parcel. The development will address issues of compatibility and transition with respect to adjacent land uses.

15.1.2 GENERAL REQUIREMENTS:

- 15.1.2.1 Refer to Section 4.2 "No Development Permit Required" in the Land Use Bylaw for uses not requiring a development permit.
- 15.1.2.2 Refer to Section 9 and Section 10 respectively for the general and specific land use regulations and provisions that apply to this District.

15.1.3 PERMITTED USES	15.1.4 DISCRETIONARY USES
Contractor, limited Industrial, light Manufacturing, light Public works Signs not requiring a development permit Solar Power System, Private (Not requiring a Development Permit) Utility service, minor	Accessory buildings requiring a development permit Accessory uses Agricultural processing and distribution Agricultural support services Animal care services Auto body Auto repair Auto sales Business office (accessory to principal use) Car / truck wash Card lock fuel dispensing facility Commercial school or college Commercial storage Contractor, general Drinking Establishment Dwelling unit (accessory to principal use) Industrial, general Intensive vegetation operation Lot grading Outdoor café Outdoor storage (accessory to principal use) Patio (accessory to principal use) Public market Recreation, indoor Recreation, outdoor Recycling collection point Retail garden Retail store Service station Signs requiring a development permit

15.1.3 PERMITTED USES	15.1.4 DISCRETIONARY USES
	Solar Power System, Private (Requiring a Development Permit) Storage compound Warehouse sales Warehousing and storage

15.1.5 LAND USE REQUIREMENTS

15.1.5.1 A person who wishes to subdivide land in this district into additional lots must first apply for and be granted approval of a land use bylaw amendment.

15.1.5.2 In order to facilitate the purpose and intent of this district and ensure the sustainable development of hamlet industrial uses within the District, the following applies to applications for subdivision:

a. Parcel Density:

- i. Parcel density requirements shall be determined by the Approving Authority and, in accordance with an approved area structure plan or outline plan if applicable.

b. Minimum Parcel Size:

- i. 1,858 m² (20,000 sq. ft.);
- ii. The area on title at the time of passage of this Bylaw, whichever is greater; or
- iii. The minimum parcel size may be amended by the Approving Authority in accordance with an approved area structure plan or outline plan.

c. Maximum Parcel size:

- i. The area in title at the time of passage of this Bylaw, whichever is lesser; or
- ii. As determined by the Approving Authority in accordance with an approved area structure plan or outline plan if applicable.

15.1.5.3 Utility Servicing Criteria

- a. Municipal or communal water and wastewater disposal systems.
- b. Municipal or communal water system, and an advanced package sewage treatment system; or
- c. On site water storage system on site and/or wastewater pump out tanks if deemed appropriate by the Approving Authority in accordance with an approved area structure plan or outline plan.

15.1.6 DEVELOPMENT REQUIREMENTS

15.1.6.1 Maximum Lot Coverage

- a. No building or group of buildings including their accessory buildings and impervious surfaces shall cover more than sixty (60) percent of the lot area.

15.1.6.2 Minimum Yard Setbacks Requirements

a. Front Yard Setbacks:

- i. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater.
- ii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
- iii. 48m from the centreline of a Municipal Road outside a Hamlet.
- iv. 0 m from the right of way of a Municipal Road located within a Hamlet.
- v. Front yard setback may be altered in conformance with an approved Area Structure Plan for industrial uses.

b. Side Yard Setbacks:

- i. 1.5 m (4.92 ft) from the property line.

c. Rear Yard Setbacks:

- i. 6m (19.69 ft) from the property line.

- d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.

15.1.6.3 Corner Parcel Restrictions:

- a. In accordance with Section 9.27.9 - 9.27.12.

15.1.6.4 Other Minimum Setback Requirements:

- a. See Section 9.27 "Special Setback Requirements" of this bylaw for additional setback requirements that may apply.

15.1.6.5 Maximum Height of Structure:

- a. All buildings - 12m (39.37 ft);
- b. Satellite dishes, radio antennas, internet towers and wind turbines - 16m (52.49 ft)

15.1.7 SPECIAL REQUIREMENTS

15.1.7.1 Landscaping and Screening:

- a. Landscaping shall be completed in accordance with the Municipal Screening Standards.
- b. Levels and methods of screening of the site shall be completed in accordance with the Municipal Screening Standards.

15.1.7.2 Lighting:

- a. All lighting must be in accordance with Section 9.15 of this Land use bylaw and with the Municipal Dark Sky Bylaw.

15.1.7.3 Lot Drainage:

- a. A development agreement shall be entered into for lot grading to the satisfaction of the Director, Public Works and Engineering.

- b. Lot grading and drainage shall be in accordance with Section 9.17 of the Land use bylaw.

15.1.7.4 Other:

- a. The Approving Authority may allow a building to be occupied by a combination of one or more of the above mentioned uses listed for this district and each use shall be considered as a separate use.

15.1.8 EXCEPTIONS:



Application for Development Permit

Land Use Bylaw No. 60-2014

Foothills County
309 Macleod Trail, Box 5605, High River, AB T1V 1M7 • Tel: 403-652-2341 Fax: 403-652-7880

www.foothillscountyab.ca

THIS IS NOT A BUILDING PERMIT. Construction practices and standards of construction of any building or any structure authorized by this Development Permit must be in accordance with the Building Bylaw. An application must be made for a Building Permit under the requirements of the Building Bylaw and a Permit must be secured before any work or construction on any building may commence or proceed.

FOR OFFICE USE ONLY	
Fee Submitted: <u>\$500. —</u>	Application No: <u>250 016</u>
Receipt No.: <u>431946</u>	Tax Roll No: <u>2028072500</u>
Date Received: <u>Jan 9/25</u>	Date Deemed Complete: <u>March 3/25</u>

PART 1 APPLICANT/AGENT INFORMATION

Applicant's Name: Kurt Gibson - Timber Tech Truss LP

Email: kurtg@timbertechtruss.com

Applicant's Mailing Address: [REDACTED]

Telephone: [REDACTED]

Legal Land Description: Plan 781 1183, Block C, Lot , LSD , Quarter SW, Section 7, Township 20, Range 28, West of the 4 Meridian.

Registered Owner of Land: TTT Holdings Ltd, Derrill and Ryan Murphy

Registered Owner Mailing Address:

Email: [REDACTED] Telephone: [REDACTED]

Interest of Applicant if not owner of site: Executive with Timber Tech Truss LP, rent the property from TTT Holdings

PART 2 PROPOSED DEVELOPMENT

I/We hereby make application in accordance with the plans and supporting information submitted herewith. (which forms part of this application). Please give a brief description of the proposed development, including name of development where applicable.

We applied for a development permit in April 2022. Went through the process and received an approved DP to renovate and increase the size of the existing building.

Timber Tech Truss engaged a contractor in August of 2024 to quote the renovation and enlarge the building. They also provided a quote to demo the existing building and rebuild a new building basically the same size. Timber Tech and TTT Holdings reviewed the option and felt for long term benefit it was more cost effective and beneficial to demo and rebuild. The project is a new build on the existing Timber Tech Truss site and required to accommodate the growth of its existing operations. There is no public access to this building as the main office in the main building will continue to be the place customers will come to to see Timber Tech representatives. The building will house equipment to saw raw lumber and engineered floor trusses to support the existing Timber Tech Truss line of roof trusses, wall panels and floor systems. We plan on having a meeting ASAP with the neighbors to engage them.

PART 3 SITE INFORMATION

Area Of Lot: (in Acres Or Hectares) 8.28

Size Of Proposed Building: 66' wide x 136' long, 8976 sq .ft. Height: 32' 2" high

Is There A Dwelling (Residence) On The Site: Yes No X If Yes, How Many?

Utilities Presently On Site: Electricity. Application for new waterline to upgrade from well is in progress. No sewer, septic field

Are There Sour Gas Or High Pressure Facilities On Site? No

Utilities Proposed: Electricity, water

Other Land Involved In Application: N/A

DISCLAIMER: Please note that the personal information collected on this form is authorized under the Municipal Government Act and is required for the purpose of the County's Planning and Development processes. This information may also be shared with appropriate government agencies and may also be kept on file by those agencies. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection and use of this information, please contact the FOIP Coordinator at 403-652-2341.

PART 4 DEVELOPMENT

Specify other supporting material attached that forms part of this application. (e.g., Site Plan, Plot Plan, Architectural Drawings, etc.):

Previous survey plan showing property size, Site Plan, Screening Plan, and Engineered stamped drawings

Estimated Date of Commencement: ASAP Estimated Date of Completion: July 1, 2025

I, Kurt Gibson


hereby certify that I am:

☐ The Registered Owner; or

☐ Authorized to act on behalf of the Registered Owner

Date: Nov 20, 2024

RIGHT OF ENTRY

I, being the owner or person in possession of the above described land and any building thereon, hereby consent to an authorized person designated by Foothills County to enter upon the land for  during the processing of this application.

Jan 9, 2025 Kurt Gibson 

Date Signature of Owner or Authorized Agent

FOR OFFICE USE ONLY	
1. Land use district:	<u>HMT</u>
2. Listed as a permitted/discretionary use:	
3. Meets setbacks:	<u>Yes</u> <u>No</u> If "NO", deficient in
4. Other information:	

PART 5 DECISION

Date of Decision: March 12/25 Date Application Accepted: _____

This Development Permit Application is:

- ☐ APPROVED
- ☒ APPROVED subject to the attached conditions
- ☐ REFUSED for the attached reasons

Notice of Decision Advertised: _____

Date of Issuance of Development Permit: _____

[Signature]
Development Officer

NOTE: Development must commence within 12 months of the date of the Date of Issuance of the Permit and be completed within 24 months of the Date of Issuance, unless otherwise stated in the Development Officer's decision.

Brenda Bartnik

From: Kurt Gibson <kurtg@timbertechtruss.com>
Sent: November 5, 2024 11:40 AM
To: Brenda Bartnik
Cc: Wendy Murphy; Dave Thompson; Derrill Murphy; Ryan Murphy
Subject: Re: New Shop in Aldersyde

You don't often get email from kurtg@timbertechtruss.com. [Learn why this is important](#)

Hi Brenda,

Please see the email below from TTT Holdings Ltd providing authorization for Dave Thompson and I to speak to Foothills County directly in regards to the East building construction and other items pertaining to the building and development permit of this project at 1 418 Avenue, Aldersyde, Alberta.

Thanks,

Kurt Gibson

VP of Production - Pre Fab Wall and Installation Solutions Division

O 403-328-5499

E kurtg@timbertechtruss.ca

Cell [REDACTED]

W www.timbertechtruss.ca



**Committed to providing Experience, Professionalism
and Quality in all that we do.**

On Tue, Nov 5, 2024 at 10:55 AM Ryan Murphy <[REDACTED]> wrote:

Hello Brenda and Foothills County,

This letter is for Authorize Kurt Gibson Dave Thompson from Timber Tech Truss LP. to build a new shop on the land east of our existing building in Aldersyde. The shop is 60 x132 and will assist Timber-Tech with their manufacturing facility they have now . We (Triple T) have reviewed the plans for this building and have approved it .

Triple T plans to work with Timber Tech Truss LP and Integrity Post Structures to complete this project. If there are any questions or concerns please feel free to reach out to Kurt Gibson ,Derrill Murphy , Dave Thompson or myself at any time.

1/9/25, 2:48 PM

Timber-Tech Truss LP Mail - New Building - Aldersyde



Kurt Gibson <kurtg@timbertechtruss.com>

New Building - Aldersyde

Ryan Murphy [redacted] Mon, Nov 4, 2024 at 7:15 PM
To: Derrill Murphy [redacted] Kurt Gibson <kurtg@timbertechtruss.com>, Wendy Murphy <wendym@timbertechtruss.com>

Hello Brenda and Foothills County,
This letter is for Authorize Kurt Gibson & Timber Tech Truss LP. to build a new shop on the land east of our existing building in Aldersyde. The shop is 60 x132 and will assist Timber Tech with their manufacturing facility they have now . We (Triple T) have reviewed the plans for this building and approved it .

Triple T plans to work with Timber Tech Truss LP and Integrity Post Structures to complete this project. If there are any questions or concerns please feel free to reach out to Kurt Gibson ,Derrill Murphy or myself at any time.

Ryan Murphy
[redacted]



Alison Schori

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: March 12, 2025 8:51 AM
To: Rob Siewert
Cc: Brenda Bartnik
Subject: Development Officer's Decision- Development Permit 25D 016
Attachments: 25D 016 DO's Decision.pdf

Good morning,

Please see attached a copy of the Development Officer’s Decision for 25D 016, which is within your division.

If you have any questions please contact **Brenda Bartnik** of our Planning Department at Brenda.Bartnik@foothillscountyab.ca .

Regards,

FC_Planning@foothillscountyab.ca
Foothills County, 309 Macleod Trail S. /Box 5605, High River, AB T1V 1M7
P. (403) 652-2341 | F. (403) 652-7880



w. www.foothillscountyab.ca

Alison Schori

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: March 12, 2025 8:51 AM
To: Assessment Dept.
Cc: Brenda Bartnik
Subject: Development Officer's Decision- Development Permit 25D 016
Attachments: 25D 016 DO's Decision.pdf

Good morning,

Please find attached the Development Officer's Decision for Development Permit 25D 016. The roll number for this parcel is

Should you have any questions, please do not hesitate to contact **Brenda Bartnik** at Brenda.Bartnik@foothillscountyab.ca.

Regards,

**Foothills County
Planning & Development**

FC_Planning@foothillscountyab.ca
Foothills County, 309 Macleod Trail S. /Box 5605, High River, AB T1V 1M7
P. (403) 652-2341 | F. (403) 652-7880



W. www.foothillscountyab.ca

Alison Schori

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: March 12, 2025 8:51 AM
To: [REDACTED] kurtg@timbertechtruss.com
Cc: Brenda Bartnik
Subject: Development Officer's Decision- Development Permit 25D 016
Attachments: 25D 016 Letter.pdf; 25D 016 DO's Decision.pdf; Appeal Form.pdf; 25D 016-ATEC Response.pdf; Public Works circulation response.pdf; Safety Tips Info-.pdf

Good morning,

Please see attached a copy of the Development Officer’s Decision for 25D 016, originals to follow in the mail.
Please reply stating you have received this email and attachment.

Included in the attachments are:

- Notice of Approved Letter
- Development Officer’s Decision
- Appeal form
- Alberta Transportation and Economic Corridor’s Referral Response
- Public Works Circulation Response
- Information about safety setbacks for installations near overhead powerlines(Provided by Fortis)

If you have any questions please contact **Brenda Bartnik** of our Planning Department at Brenda.Bartnik@foothillscountyab.ca .

Regards,

**Foothills County
Planning & Development**

FC_Planning@foothillscountyab.ca
Foothills County, 309 Macleod Trail S. /Box 5605, High River, AB T1V 1M7
P. (403) 652-2341 | F. (403) 652-7880



w. www.foothillscountyab.ca

NOTICE OF DEVELOPMENT

The following Development Permit has been approved subject to certain conditions and subject to a 21-day appeal period:

1. **Development Permit Application 25D 014**
Ptn. SW 28-19-28 W4M; Plan 7811084, Block B, Lot 1
Secondary Suite, Detached & Relaxation for Number and Cumulative Size of Existing Accessory Buildings
County Contact- Brittany Smith- Development Officer
2. **Development Permit Application 25D 010**
Ptn. SW 28-21-29 W4M; Plan 9910867, Block B, Lot 3
Home Based Business, Type III
County Contact- Stacey Kotlar- Development Officer
3. **Development Permit Application 25D 015**
Ptn. SW 04-19-02 W5M
Personal Use Sea-Can
County Contact- Melanie Michaud- Development Officer
4. **Development Permit Application 25D 012**
Ptn. SW 13-19-27 W4M; Plan 6980AG, Block 3, Lots 27,28,29,30
Building, Accessory to Utility Services, Minor
County Contact- Melanie Michaud- Development Officer
5. **Development Permit Application 25D 016**
Ptn. SW 07-20-28 W4M; Plan 7811183, Block C
Industry, General; Storage Compound; Accessory Building
County Contact- Brenda Bartnik- Development Officer

The file for the development permit application can be made available upon request. Should you wish to review a file or should you have any questions, please contact our Planning & Development Department at Telephone: (403) 652-2341 or Email: Planning@FoothillsCountyAB.ca.

Pursuant to Section 685(2) of the Municipal Government Act, any person affected by these decisions may submit an appeal to the Subdivision and Development Appeal Board (SDAB) Clerk. Should you choose to submit an appeal, please complete the Notice of Development Appeal Form, which can be obtained from our website, www.FoothillsCountyAB.ca or emailed/faxed out upon request. Alternatively, you can submit a letter outlining your appeal, which must contain the following information:

- a. the Development Permit File Number (i.e., 21D 000) that you are appealing.
- b. detailed reasons for appealing; and
- c. your full name (printed and signature), legal description, mailing address, and phone number.

Appeals must be received by the SDAB Clerk no later than 4:30 P.M. on Thursday April 3rd, 2025 and must be accompanied by a \$100.00 appeal fee. The appeal fee will be refunded following the hearing if there is record that the appellant or someone authorized to act on behalf of the appellant attended the scheduled appeal hearing.

SEND NOTICE OF DEVELOPMENT APPEAL FORM AND APPEAL FEE VIA:

Email (scanned pdf): appeals@foothillscountyab.ca or

Fax: 403-652-7880 or

Mail/Deliver: SDAB Clerk, Foothills County, 309 Macleod Trail S, Box 5605, High River, AB, T1V 1M7

- For email submissions, if you do not receive a reply email from our office confirming receipt of your submission, please contact the SDAB Clerk immediately (403) 603-6227.
- The notice of appeal form may be mailed, but if it is received after the appeal deadline, the appeal will be invalid.

Alison Schori
Planning & Development Assistant

**FOOTHILLS COUNTY**

309 Macleod Trail, Box 5605

High River, Alberta T1V 1M7

Phone: 403-652-2341

Fax: 403-652-7880

www.FoothillsCountyAB.caplanning@foothillscountyab.ca

March 12, 2025

Timber-Tech Truss LP
Attn: Kurt Gibson**COPY**

Dear Sir/Madam:

**Re: Notice of Decision Re: Development Permit 25D 016
Ptn: SW 07-20-28 W4M; Plan 7811183, Block C
Change in Intensity of Use/ New Accessory Building; Storage Compound; & Industry,
General**

The above-noted development permit application has been approved subject to conditions (copy attached) and subject to a 21-day appeal period. The Development Permit may be signed and issued upon completion of the 21-day appeal period; should no appeals be received, and completion of all Pre-Release Conditions (if any).

The County will advertise the approval of this development permit application in two issues of the Western Wheel and circulate to area landowners (according to County records at this time) within the subject quarter section and for one half mile surrounding the subject property. Notices for Development Permit Decisions are also posted on the County website, www.foothillscountyab.ca.

Pursuant to Section 685(2) of the Municipal Government Act, a person affected by this decision has a right of appeal. Notices of Appeal, including payment of the appeal fee are to be received **no later than April 3, 2025**. Notices of Appeal received after the 21-day notification period will be invalid. If you choose to submit an appeal, please use the enclosed 'Notice of Development Appeal' form. We will notify you if we receive appeals from other persons.

The appeal fee will be returned 2 to 3 weeks after the appeal hearing, if there is record that the appellant or someone authorized to act on behalf of the appellant was in attendance at the time of the scheduled appeal hearing.

Should you have any questions, concerns, or require clarification on the appeal process, please contact the undersigned.

**NOTE: APPEAL SUBMISSION REQUIREMENTS ARE OUTLINED ON THE ENCLOSED
'NOTICE OF DEVELOPMENT APPEAL' FORM**

Yours truly,
FOOTHILLS COUNTYBrenda Bartnik
Development Officer
brenda.bartnik@foothillscountyab.ca
(403) 603-6222BB/as
Encl.

Landowners- Triple T Holdings Inc.



FOOTHILLS COUNTY

309 Macleod Trail, Box 5605
High River, Alberta T1V 1M7
Phone: 403-652-2341
Fax: 403-652-7880
www.FoothillsCountyAB.ca
planning@foothillscountyab.ca

March 12, 2025

«MailName»
«AddLine1»
«AddLine2» «AddLine3»
«City», «Prov» «Postal»

Dear Sir/Madam:

TAKE NOTICE that, in accordance with Land Use Bylaw No. 60/2014, a Development Permit application has been approved subject to conditions (attached) and a 21-day appeal period, for a parcel of land that is located within one half mile of your property. The details of the Development Permit application are as follows:

Development Permit Application File#:	25D 016
Legal Description:	SW 07-20-28 W4M; Plan 7811183, Block C
Approval Description:	Change in Intensity of Use/ New Accessory Building; Storage Compound; & Industry, General
Applicant/Owner	Timber-Tech Truss LP (Applicant) / Triple T Holdings Inc. (Owner)
Location:	Located on the northeast corner of the intersection of Highway #2A and Maple Leaf Road, within the Hamlet of Aldersyde

Pursuant to Section 685(2) of the Municipal Government Act, a person affected by this decision has a right of appeal. Notices of Appeal, including payment of the appeal fee are to be filed with the Subdivision and Development Appeal Board within 21 days from the date of the development permit decision (attached). Notices of Appeal and payment of the appeal fee are to be received **no later than April 3, 2025**. Notices of Appeal received after the 21-day notification period will be invalid.

The form required for the Notice of Development Appeal is available on the Foothills County website. To access the form, please visit the following link: <https://www.foothillscountyab.ca/resources/notice-development-appeal>. For further assistance or if you would like us to email you the form, please contact our Planning and Development Department at 403-652-2341 or via email at Planning@FoothillsCountyAB.ca.

You should not rely on Notices of Appeal filed by other persons as giving you the right to be heard at an appeal hearing, as only the appellant, applicant or authorized representative of either party is guaranteed the opportunity to be heard at an appeal hearing. If you choose to submit an appeal, please complete the 'Notice of Development Appeal' form found on our website and return the completed form with payment of the required appeal fee to the Subdivision and Development Appeal Board Clerk by email at appeals@FoothillsCountyAB.ca or by fax at 403-652-7880.

The appeal fee will be returned 2 to 3 weeks after the appeal hearing if there is record that the appellant or someone authorized to act on behalf of the appellant was in attendance at the time of the scheduled appeal hearing.

Should you have any questions, concerns, or require clarification on the appeal process, please contact the undersigned.

**NOTE: APPEAL SUBMISSION REQUIREMENTS ARE OUTLINED ON THE
'NOTICE OF DEVELOPMENT APPEAL' FORM**

Yours truly,
FOOTHILLS COUNTY

Original Signed By...

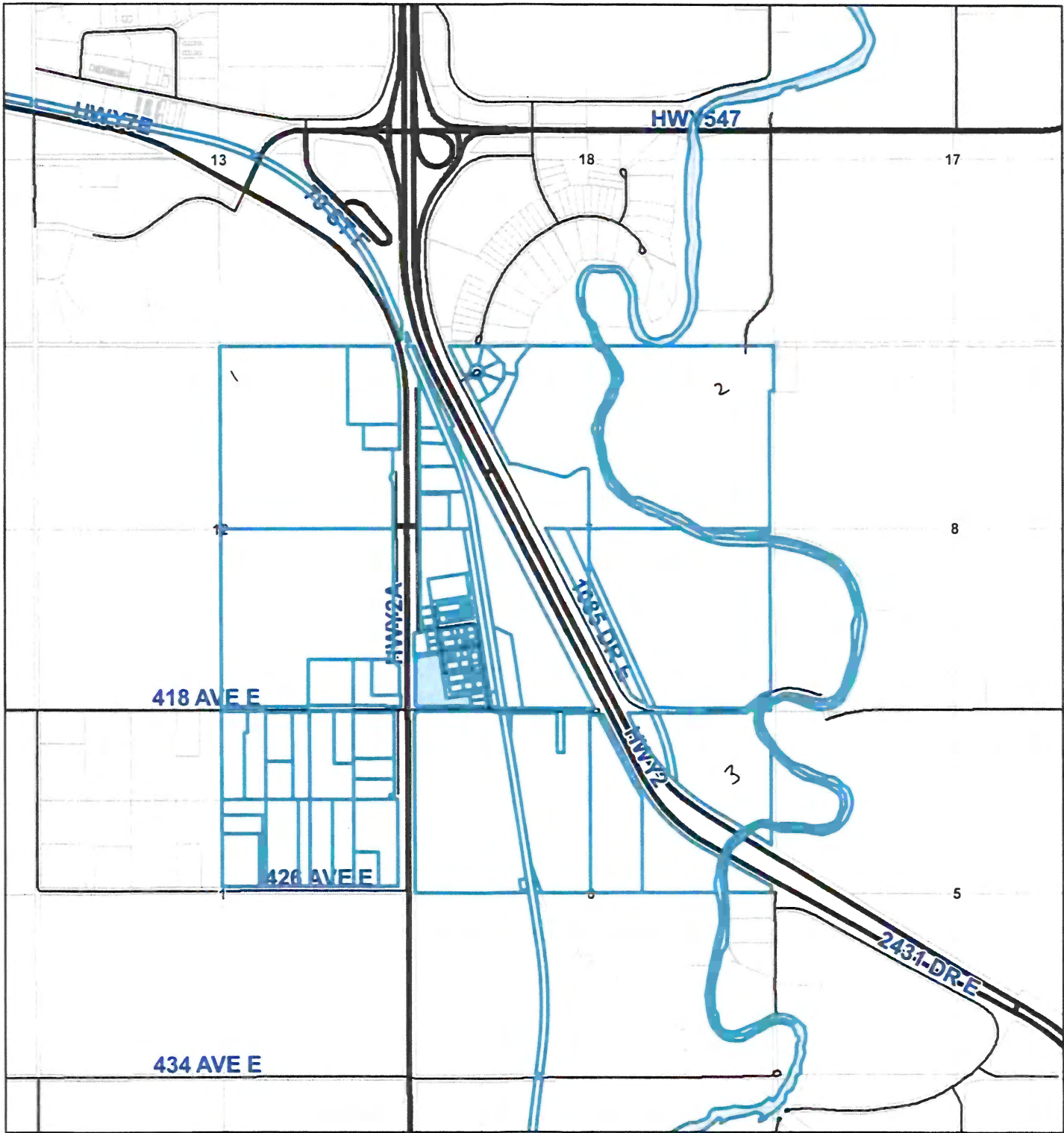
Brenda Bartnik
Development Officer
brenda.bartnik@foothillscountyab.ca
(403) 603-6222

BB/as
Encl. – Development Authority Decision



Half Mile

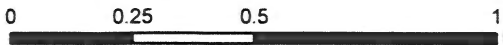
SW 7-20-28 W4M; Plan 7811183, Block C



Legend

- Roads
- ▭ Parcels
- Highway
- ▭ Subject Parcel

Date: 2025-03-11



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Date Sources include Municipal Records and AltaGIS

Foothills County 2025

Theresa Chipchase

From: Kurt Gibson <kurtg@timbertechtruss.com>
Sent: February 5, 2025 1:40 PM
To: Theresa Chipchase
Subject: Response to Notice of Incomplete Application for our Development Permit at PTN. SW 07-20-28 W4M; Plan 7811183, Block C, Timber Tech Truss

You don't often get email from kurtg@timbertechtruss.com. [Learn why this is important](#)
Hi Theresa,

Based on the information in Brenda Bartnik's Jan 22, 2025 letter outlining the Notice of Incomplete Application for our Development Permit at PTN. SW 07-20-28 W4M; Plan 7811183, Block C, here is the response to the incomplete items.

Incomplete items from Brenda's letter and Timber Tech's response highlighted below.

Please confirm the following:

- a. That the drawing marked 'Partial Site Plan' from Lovse Surveys February 5/99 depicts the setbacks that will be adhered to for the proposed new building.
Yes, this is correct.
- b. Will the shed continue to be located on the property once construction of the new building is completed? What is the proposed distance between the shed and the proposed new building?
The shed will need to be moved to allow for demolition of the existing structure. We are planning on saving the shed and repositioning it back in the similar location. It may be slightly different from the 2.22 m that is shown on the plans to date. We suspected it could be as close as 5 ft and as far away as 10 ft. This will be determined once the new building is in place.
- c. The owner's mailing address and company name.
TTT Holdings Ltd mailing address is [REDACTED]
- d. The applicant's mailing address and company name.
Timber Tech Truss LP [REDACTED]
- e. If approved, this permit will be replacing the prior development permit/Board Order that considered the business operations at this location, as a whole. The prior information (provided along with this communication) needs to be confirmed and submitted in support of this application. Please be reminded that conditions similar to those previously identified under development permit 22D 092 may be included under any approval of this application.
I went to the Foothills County office Feb 5, 2025 and went through the old file and found all the information that Timber Tech Truss feels we would like to see moved into the new file. This was done with support from Theresa Chipchase. She helped answer my questions and was clear that all the information I had left out of the old file would no longer be used in the new file application.

I trust this is the information you are looking for.

Thanks,

- a. Proceed with a 3,300 sq. ft. addition to the existing building as it was approved under the issued development permit.
- b. Make a new application for development permit for a new building.
- i. Development is subject to design guidelines for the County's industrial area that runs along highway 2A. A copy of these guidelines can be found here: <https://www.foothillscountyab.ca/sites/default/files/2022-04/2021-03-H2AISP%20Design%20Guidelines-FINAL%20APPROVED%20%281%29.pdf> , and the related Area Structure Plan, here: https://www.foothillscountyab.ca/sites/default/files/2022-04/H2AI_ASP_Adopted_Jan172011-finalized_vgs.pdf

In a nutshell, here's is what we would be looking for with respect to the new building being in alignment with the Design Guidelines:

1. The use of natural light – it appears that there is an upper-level window and sunshine panels in some of the overhead doors. This would fulfill this requirement. **This is correct**
2. What type of exterior lighting is to be used and does it comply with the County's Dark Sky Bylaw. Ie: the lighting needs to be shielded and directed downward, not upward nor out onto the horizontal plane. **Please see an example of the lights we have selected as part of the overall package attached.**
3. Exterior finishes/materials and colours need to be identified in the application for development permit.
 - i. Is the color of man doors and overhead doors matching, or complementary to the building's principal finish? **Yes, the man doors and overhead door colour is planned to match the existing doors which are white. The building will also have metal siding and roof similar in colour to the existing building which is a light grey colour.**
 - ii. Are large expanses of area visually broken up in some manner? **We have not planned for it it however we would be open to looking at putting the similar mid grey band around the mid point of the wall height that is similar to what is on the main Timber Tech Truss building.**
 - iii. Is the main entrance to the building delineated in some manner? **It is an accessory building and will not have any guests or public accessing this building. All public and guest access to Timber Tech Truss will still be through the main office building where the main entrance is currently posted and will remian there.**

Feel free to discuss any of these with me should you require additional information.

- ii. Some questions/comment for you based upon the drawings you provided:
 1. Is a second floor or mezzanine planned at this time, or in the future? **In the future, as needed for office space.**
 2. What is the hatched area on elevation C? **It is a potential future overhead door. It is framed in and willbe covered up from the outside and inside and not visible in anyway. We thought we might want that in the future it could be good if sold to a potential buyer in the future and on the plans for framing purposes only.**
 3. Plans submitted with the development permit application will need to be marked with what direction each building face is facing ie: confirm what direction the 'Front Side' faces. **Done**

I am attaching a development permit application package for your use.

The fees for an application are \$500.00. Every effort will be made to process any new application as expediently as possible however there is no guarantee that we could better the standard 10 to 12 (from submission of a deemed complete application) week processing time.

As there have been concerns identified with respect to operations in the past and an appeal was realized with respect to the last development permit application, it may be to your benefit to have conversation with area landowners about Timber-Tech's plans as if an approval is appealed, additional time will be added to the process.

1.8 NON-CONFORMITY

1.8.1 Non-conforming buildings and non-conforming uses shall be dealt with in accordance with Section 643 of the Act and this Bylaw.

1.8.2 If a Development Permit has been issued on or before the day on which a land use bylaw or land use bylaw amendment comes into force in the County and the bylaw would make the development in respect of which the permit was issued a non[1]conforming use or non-conforming building, the Development Permit continues in effect in spite of the coming into force of the bylaw.

1.8.3 If a building was unlawfully constructed or a use unlawfully conducted on a site prior to the date the land use bylaw becomes effective, the building or use will remain an illegal building or use rather than non-conforming.

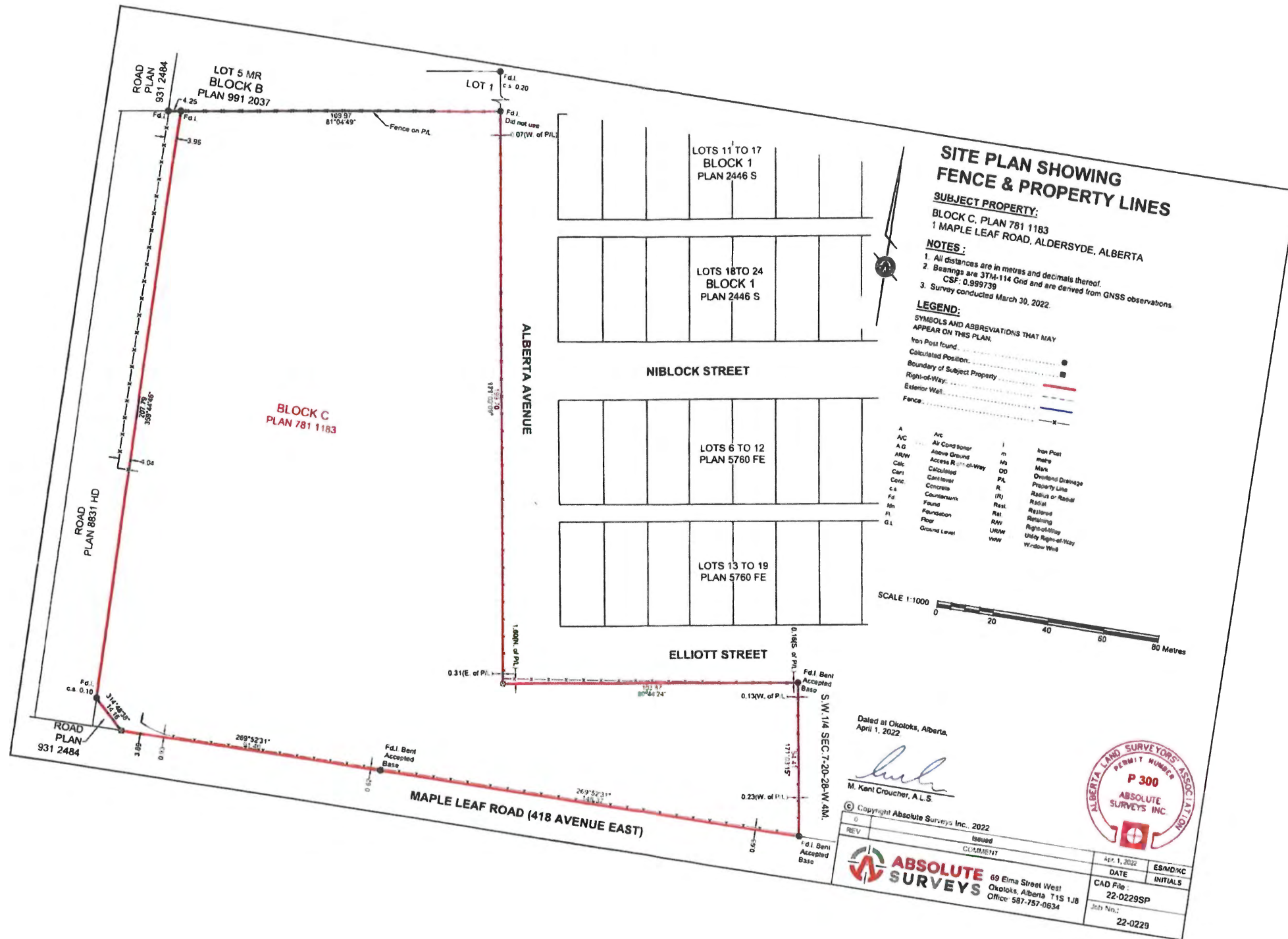
1.8.4 A non-conforming use of land or a building may be continued but if that use is discontinued for a period of 6 consecutive months or more, any future use of the land or building must conform with the land use bylaw then in effect.

1.8.5 A non-conforming use of part of a building may be extended throughout the building but the building, whether or not it is a non-conforming building, may not be enlarged or added to and no structural alterations may be made to it or in it unless it is brought into conformance with this bylaw.

1.8.6 A non-conforming use of part of a lot may not be extended or transferred in whole or in part to any other part of the lot and no additional buildings may be constructed on the lot while the non-conforming use continues.

1.8.7 A non-conforming building may continue to be used but the building may not be enlarged, added to, rebuilt, or structurally altered except:

- a. To make it a conforming building.**
- b. For routine maintenance of the building, if the Approving Authority considers it necessary; or**



STREET PLAN 8831 HD

307.5m (661.6') 0'-0" 0'-0" Unsurveyed

16.57m
54.39'

Office

Truss
Production

91.40m (299.79') 27'-0" 0'-0" 0'-0"

48.0m
157.5'

30.25m
99.39'

Shed

30.25m
99.39'

15.55m
50.99'

15.55m
50.99'

15.55m
50.99'

17'-0" 0'-0" 0'-0"
5.09m (16.70') 16.70'

ALBERTA AVENUE

148.34m (486.56') 90'-0" 0'-0" 0'-0"

103.65m (340.26') 81'-0" 0'-0" 0'-0"
ELLIDIT STREET

251'-0" 0'-0" 0'-0"
54.0m (177.16') 177.16'

PART OF
SV 1/A, SECT 7-20-28-4

PARTIAL SITE PLAN FOR REFERENCE
BASED FROM LOVSE SURVEYS FEB 5/99
PLAN 781 1183
BLOCK C
ALDERSYDE, AB
MD FOOOTHILLS #31

Ray Stuart		Project:	Proposed Panel Shop Add'n		Partial Site Plan	
PO Box 1140, Black Diamond, AB, T0L 0M0 Phone: 403-583-0071 Fax: 403-483-2000 Cell: 403-488-3039 email: r.stuart@telus.ca		Address:	Timber-Tech Truss Inc. Block C, Plan 781 1183 Aldersyde, AB H.D. Foothills R31		Scale: "To Fit"	1 / 5
Full Architectural Drafting Services and Design				Date: April 2022		

PROPOSED 66' X 136' X 20' COMMERCIAL SHOP
TRIPLE T HOLDINGS INC - DERRILL & RYAN MURPHY
1 418 AVE.
ALDERSYDE, AB
TOL 0A0

DESIGN/CLIMATIC DATA

STRUCTURAL DESIGN IS ACCORDING TO:
1. THE NATIONAL BUILDING CODE - 2023
ALBERTA EDITION
2. ENGINEERED DESIGN IN WOOD CSA 086-19

IMPORTANCE CATEGORY: NORMAL

LOCATION: ALDERSYDE, AB
WIND: $q1/10 = 0.52 \text{ kPa}$
 $q1/50 = 0.64 \text{ kPa}$
SNOW: $S_e = 1.4 \text{ kPa}$
 $S_f = 0.1 \text{ kPa}$

GENERAL NOTES

- ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES UNLESS NOTED OTHERWISE.
- THE STRUCTURAL DESIGN AND ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE - 2023 ALBERTA EDITION.
- NORMAL OCCUPANCY CLASSIFICATION
- WINDOW AND DOOR SIZES SHOWN ARE NOMINAL ONLY. EXACT DIMENSIONS AND ROUGH OPENING SIZES OF WINDOWS AND DOORS ARE TO BE SUPPLIED BY THE WINDOW AND DOOR MANUFACTURER PRIOR TO START OF CONSTRUCTION.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL FOLLOW:
 - NATIONAL BUILDING CODE - 2023 ALBERTA EDITION.
 - LOCAL CODES AND BYLAWS
 - ALBERTA OCCUPATIONAL HEALTH AND SAFETY REGULATIONS
- FIELD CONTRACTOR SHALL OBTAIN ANY NECESSARY FIELD DIMENSIONS TO PERFORM THE WORK REQUIRED ON THE DRAWINGS.
- UNSATISFACTORY STRUCTURAL CONDITIONS CREATED OR PERFORMED DURING CONSTRUCTION SHALL BE REPORTED TO INTEGRITY.
- DRAWINGS SHOW THE COMPLETED STRUCTURE, BUT MAY NOT SHOW COMPONENTS REQUIRED TO COMPLETE THE WORK IN A SAFE MANNER. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF CONTRACTOR PERSONNEL AND THE GENERAL PUBLIC DURING ALL PHASES OF CONSTRUCTION.
- THE FIELD CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY RELOCATION OF SERVICES THAT INTERFERE WITH CARRYING OUT THE WORK.
- THE FIELD CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION.
- GRAVEL TO BE 40mm CRUSHED GRAVEL WHICH SHALL BE CLEAN ANGULAR CRUSHED NATURAL STONE FREE FROM SILT, CLAY AND ORGANIC MATTER. GRAVEL SHALL BE HAND-COMPACTED DURING BACKFILL TO THE EXTENT POSSIBLE.
- ALL STRUCTURAL LUMBER INCLUDING BEAMS, POSTS, STRAPPING AND BRACING SHALL BE SPP NO. 1 / NO. 2 UNLESS NOTED OTHERWISE.
- ORIENTED STRAND BOARD (OSB) TO ADHERE TO CSA 0437 SERIES-93 STANDARDS ON OSB AND WAFFERBOARD.
- FINAL EXTERIOR GRADE TO SLOPE MINIMUM 2% AWAY FROM PERIMETER OF BUILDING.
- ROOF VENTING AS PER NATIONAL BUILDING CODE - 2023 ALBERTA EDITION.
- INTEGRITY BUILDINGS PROVIDES ALL STRUCTURAL AND ARCHITECTURAL FINISHES AS DETAILED IN THIS DRAWING SET. ALL INTERIOR NON-STRUCTURAL FRAMING AND FINISHING, ELECTRICAL AND MECHANICAL WORK BY OTHERS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SUBGRADE HAS A MINIMUM FACTORED ULTIMATE LIMIT STATES AND SERVICEABILITY LIMIT STATE BEARING CAPACITY OF 1500 PSF. IF DENSITY OF BASE OR SUB-BASE IS LESS THAN THE REQUIRED CAPACITY, NOTIFY THE AUTHORIZING ENGINEER IMMEDIATELY PRIOR TO DRILLING POST HOLES OR THE PLACEMENT OF ANY FOUNDATIONS.
- NOTIFY THE AUTHORIZING ENGINEER IMMEDIATELY OF ANY WATER SEEPAGE OR HOLE SLOUGHING DURING DRILLING OR FOUNDATION EXCAVATION.
- NOTIFY THE AUTHORIZING ENGINEER IMMEDIATELY PRIOR TO POST PLACEMENT IF MORE THAN 2 FT OF STRUCTURAL GRANULAR FILL IS REQUIRED TO CREATE THE PROPOSED FINISHED SLAB ELEVATION. DO NOT ADJUST POST DEPTH TO COMPENSATE FOR REQUIRED STRUCTURAL GRANULAR FILL UNLESS APPROVED FOR IN WRITING BY AUTHORIZING ENGINEER.
- INTEGRITY BUILDING PROVIDES ALL STRUCTURAL AND ARCHITECTURAL FINISHES AS DETAILED IN THE DRAWING SET. ALL INTERIOR NON-STRUCTURAL FRAMING AND FINISHING, ELECTRICAL AND MECHANICAL WORK BY OTHERS.
- INTEGRITY BUILDING AND KIRAS ENGINEERING LTD'S SCOPE OF WORK IS LIMITED TO STRUCTURAL ENGINEERING OF THE POST-FRAME BUILDING SHELL ONLY. ADDITIONAL DESIGN WORK SUCH AS CODE ANALYSIS AND SPATIAL SEPARATION NOT COMPLETED. CODE ANALYSIS AND SPATIAL SEPARATIONS COMPLETED AS REQUIRED BY LOCAL AMI.

DRAWING INDEX

DWG	TITLE
A0.00	COVER SHEET
A1.01	MAIN FLOOR PLAN
A2.01	ELEVATIONS
A2.02	ELEVATIONS
A3.01	SECTIONS
A4.01	DETAILS
A4.02	DETAILS
A5.01	ROOF FRAMING PLAN
A6.01	POST DETAILS
A6.02	POST DETAILS

REFERENCE DRAWING INDEX

INTEGRITY STANDARD DETAILS	
DWG	TITLE
IPS-STD-001	TYPICAL POST DETAILS
IPS-STD-002	TYPICAL WALL DETAILS
IPS-STD-003	TYPICAL TRUSS DETAILS
IPS-STD-004	TYPICAL OVERHEAD DOOR DETAILS
IPS-STD-005	TYPICAL BI-FOLD DOOR DETAILS
IPS-STD-006	TYPICAL SLIDING DOOR DETAILS
IPS-STD-007	TYPICAL FINDER DOOR DETAILS
IPS-STD-008	TYPICAL MAIN DOOR & WINDOW DETAILS
IPS-STD-009	TYPICAL MEZZANINE DETAILS
IPS-STD-010	TYPICAL ROOF DETAILS
IPS-STD-011	TYPICAL LEAN-TO DETAILS
IPS-STD-012	TYPICAL METAL CLADDING DETAILS
IPS-STD-013	TYPICAL DRILLING DETAILS

NOTE: WHERE CONTRADICTIONS EXIST BETWEEN THE STANDARD DETAILS AND THE INFORMATION PROVIDED IN THESE DRAWINGS, THE DRAWINGS SHALL TAKE PRECEDENCE

LEGEND

	WALL TYPE
	WINDOW TYPE
	DOOR TYPE
	ROOM NUMBER
	ROOF TYPE
	CEILING HEIGHT

BEAM ABBREVIATIONS

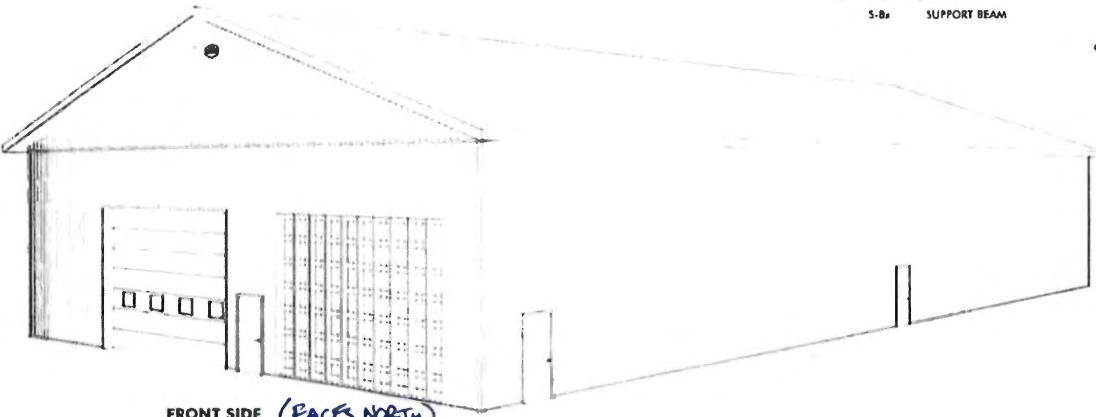
R-Bx	ROOF BEAM
LT-Bx	LEAN-TO BEAM
M-Bx	SECOND FLOOR BEAM
T-Bx	TRANSFER BEAM
S-Bx	SUPPORT BEAM

ASSEMBLIES:

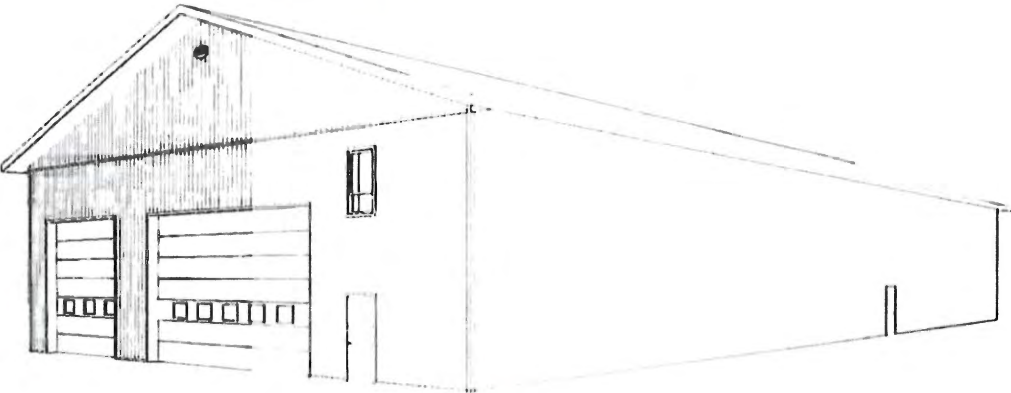
- R1 ROOF TYPE**
- STANDARD RIDGE CAP WITH RIDGE FOAM SEALANT
 - PREMIUM 29 GAUGE HI-TENSILE FC36 PROFILE METAL INCLUDING A 3/4" RIB
 - 2x6 ROOF STRAPPING @ 2' O/C
 - 4" O/C PRE-ENGINEERED TRUSSES
 - R50 CEILING INSULATION
 - 6mm CGSB VAPOR BARRIER
 - PREMIUM 29 GAUGE HI-TENSILE FC36 PROFILE METAL INCLUDING A 3/4" RIB

- W1 EXTERIOR WALL**
- PREMIUM 29 GAUGE HI-TENSILE FC36 PROFILE METAL INCLUDING A 3/4" RIB
 - 2x4 STRAPPING @ 2' O/C (EXTERIOR)
 - LAMINATED POST WITH PERMA COLUMN AND INTEGRITY POST DISC
 - R28 WALL INSULATION
 - 6mm CGSB VAPOR BARRIER
 - 2x4 STRAPPING @ 2' O/C (INTERIOR)
 - PREMIUM 29 GAUGE HI-TENSILE FC36 PROFILE METAL INCLUDING A 3/4" RIB

- W2 EXTERIOR WALL**
- PREMIUM 29 GAUGE HI-TENSILE FC36 PROFILE METAL INCLUDING A 3/4" RIB
 - 2x4 STRAPPING @ 2' O/C (EXTERIOR)
 - LAMINATED POST WITH PERMA COLUMN AND INTEGRITY POST DISC
 - R28 WALL INSULATION
 - 6mm CGSB VAPOR BARRIER
 - 2x4 STRAPPING @ 2' O/C (INTERIOR)
 - PREMIUM 29 GAUGE HI-TENSILE FC36 PROFILE METAL INCLUDING A 3/4" RIB



FRONT SIDE (FACES NORTH)



REAR SIDE (FACES SOUTH)



48223 338 AVE. E. OKOTOKS, AB T1S 1A8
(403) 938-9376

- THIS IS COPYRIGHT DRAWING AND DESIGN AND SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION OF INTEGRITY BUILDINGS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERROR AND OMISSIONS TO THE ENGINEER PRIOR TO COMMENCING THE WORK.
- THESE DRAWING ARE NOT TO BE SCALED.

SEALS



ENGINEERING CONSULTANT

KIRAS
ENGINEERING

ISSUED FOR		
REV	DESCRIPTION	DATE
A	APPROVAL	2024/10/28
B	APPROVAL	2024/10/30
C	APPROVAL	2024/10/31
D	APPROVAL	2024/10/31
E	APPROVAL	2024/11/13
F	APPROVAL	2024/11/14
G	APPROVAL	2024/11/15
O	PERMIT	2024/11/21

PROJECT TITLE
66' X 136' X 20'
COMMERCIAL SHOP
TRIPLE T HOLDINGS INC -
DERRILL & RYAN MURPHY
ALDERSYDE, AB

DRAWING TITLE
COVER SHEET

PROJECT NUMBER	43305
DATE	2024 11 21
DRAWN BY	AM
CHECKED BY	AE
APPROVED BY	DM
ENGINEER	PV

A0.00

SCALE NTS



48233 336 AVE E. OKOTOKS, AB T1S 1A8
(403) 938-9376

THIS IS COPYRIGHT DRAWING AND DESIGN AND SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION OF INTEGRITY BUILDINGS.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES AND REPORT TO THE ENGINEER PRIOR TO COMMENCING THE WORK.
THIS DRAWING ARE NOT TO BE SCALED



ENGINEERING CONSULTANT

KIRAS

REV	DESCRIPTION	DATE
A	ISSUED FOR APPROVAL	2024.10.28
B	APPROVAL	2024.10.20
C	APPROVAL	2024.10.21
D	APPROVAL	2024.10.21
E	APPROVAL	2024.11.13
F	APPROVAL	2024.11.14
G	APPROVAL	2024.11.15
H	REMARK	2024.11.21

PROJECT TITLE:

66 X 136 X 20'

COMMERCIAL SHOP

TRIPLE T HOLDINGS INC -
DERRILL & RYAN MURPHY

ADDRESYDE, AB

DRAWING TITLE

MAIN FLOOR PLAN

PROJECT NUMBER	43305
DATE	2024.11.21
DRAWN BY	WT
CHECKED BY	ME
APPROVED BY	DM
ENGINEER	FW

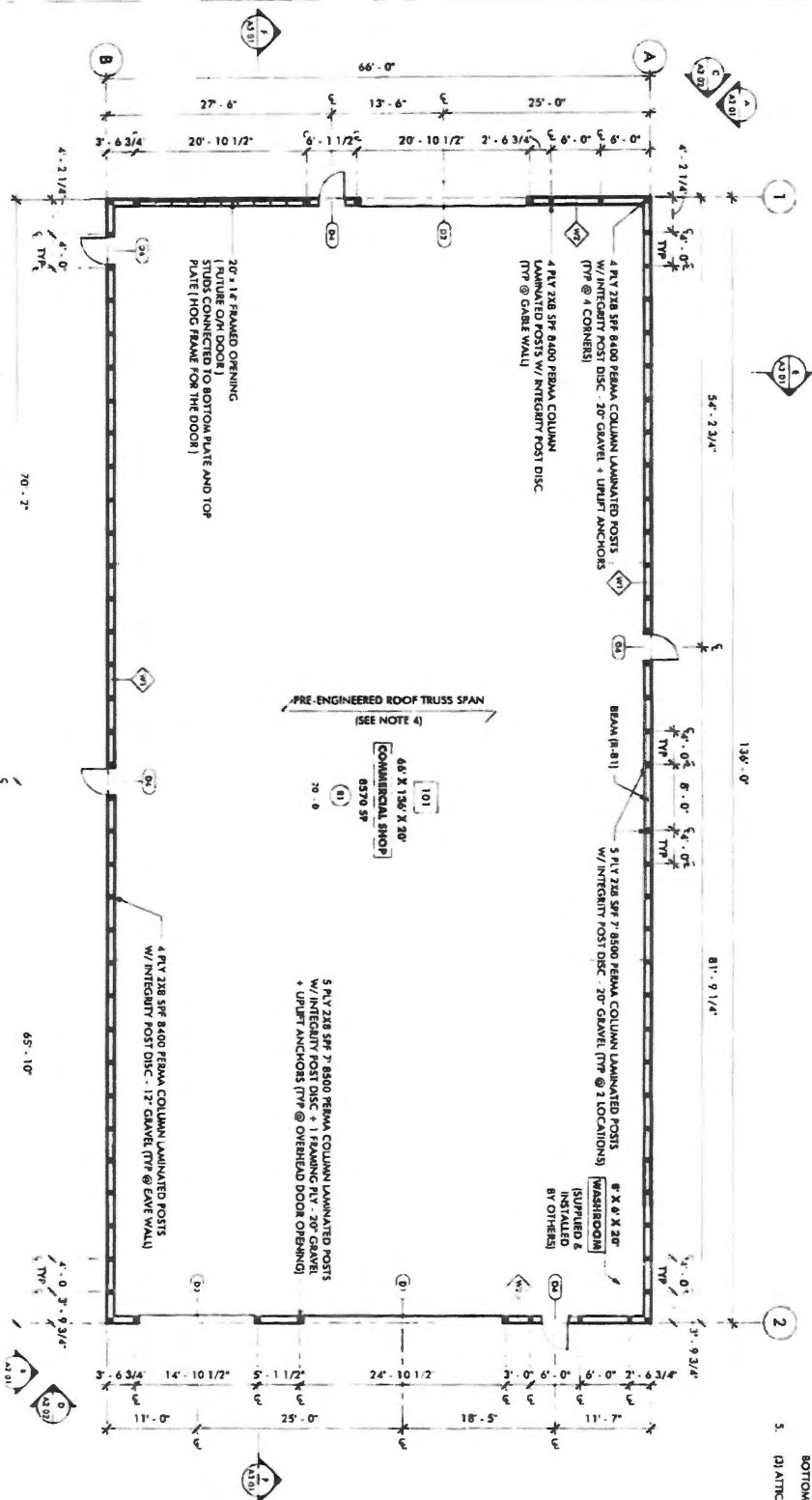
A1.01

SCALE

1/8" = 1'-0"

NOTES

- FOR GENERAL AND CONSTRUCTION NOTES REFER TO DWG A0.00.
- OVERALL GRIDLINE TO GRIDLINE DIMENSIONS SHOWN ARE FROM EDGE OF HORIZONTAL EXTERIOR STRIPPING TO EDGE OF HORIZONTAL EXTERIOR STRIPPING.
- MAIN FLOOR SLAB ON GRADE AND ALL RELATED GROUND PREPARATION BY OTHERS.
- ROOF TRUSSES ENGINEERED AND FABRICATED BY OTHERS. REFER TO TRUSS DRAWINGS FOR DESIGN DATA AND CONTINUOUS BRACING REQUIREMENTS FOR TRUSS WEB AND BOTTOM CHORD MEMBERS.
- ATTN: MATCH LOCATION TO BE FIELD DETERMINED.



MAIN FLOOR PLAN

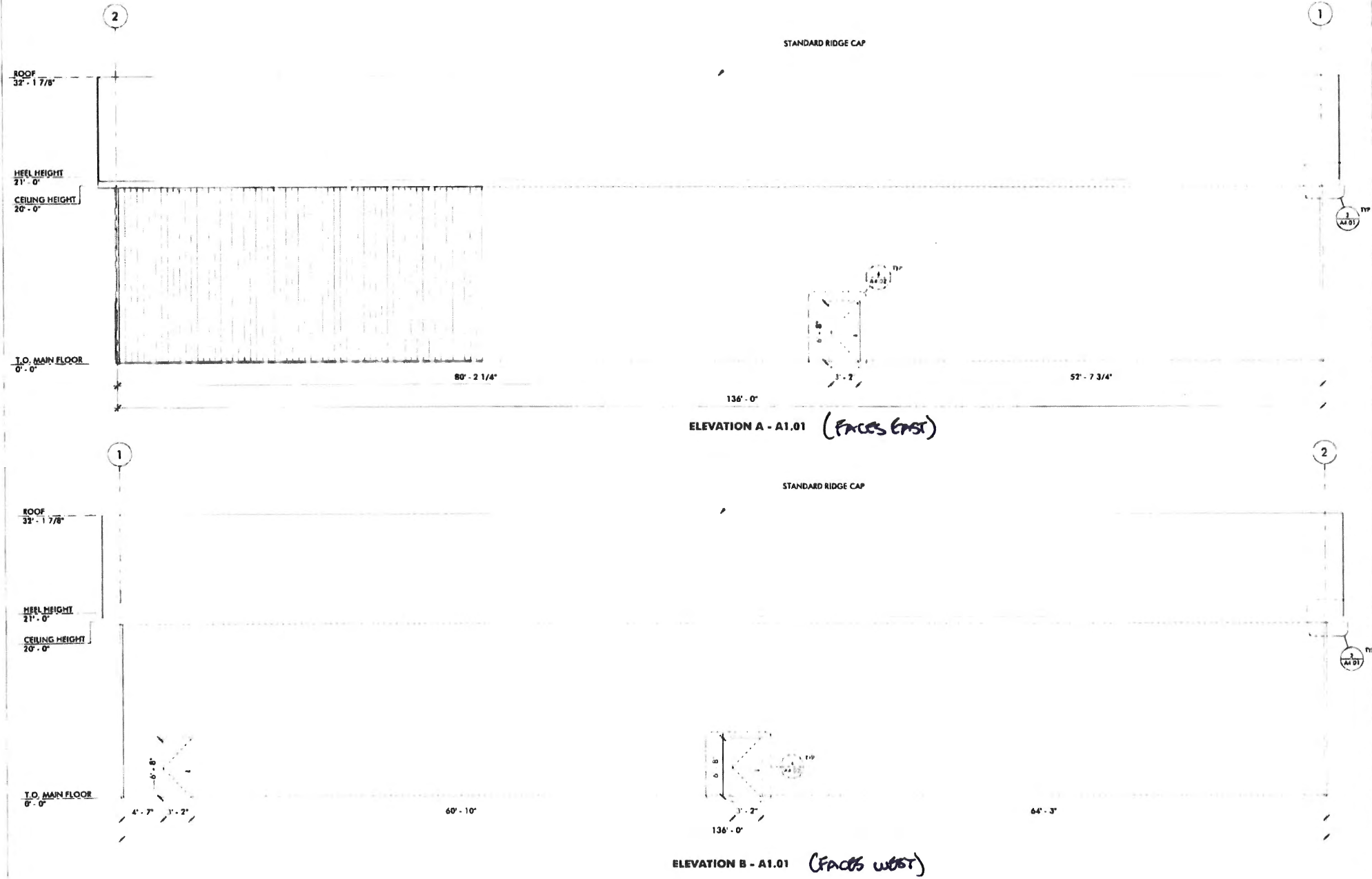
DOOR SCHEDULE			
TYPE	DESCRIPTION	QTY	WIDTH
D1	OVERHEAD DOOR, 5 WINDOW INSERTS	1	24'-0"
D2	OVERHEAD DOOR, 3 WINDOW INSERTS	1	14'-0"
D3	OVERHEAD DOOR, 3 WINDOW INSERTS	1	14'-0"
D4	MANDOOR STEEL SLAB	3	3'-2"

WINDOW SCHEDULE			
TYPE	DESCRIPTION	QTY	WIDTH
W1	VERTICAL SLIDER WINDOW (2ND STOREY)	1	3'-0"

BRACKET/ HANGER SCHEDULE	
DESCRIPTION	QTY
INTEGRITY TRUSS TO BEAM BRACKET	3

POST SCHEDULE			
TYPE	DESCRIPTION	QTY	HEIGHT
P-01	4 RY 2X8 SPS 8400 FEMA COLUMN LAMINATED POSTS W/ INTEGRITY POST DISC	5	21'-0"
P-02	4 RY 2X8 SPS 8400 FEMA COLUMN LAMINATED POSTS W/ INTEGRITY POST DISC - 17' GRAVEL	63	21'-0"
P-03	4 RY 2X8 SPS 8400 FEMA COLUMN LAMINATED POSTS W/ INTEGRITY POST DISC - 20' GRAVEL	4	21'-0"
P-04	5 RY 2X8 SPS 7 8500 FEMA COLUMN LAMINATED POSTS W/ INTEGRITY POST DISC - 37' GRAVEL	2	21'-0"
P-05	5 RY 2X8 SPS 7 8400 FEMA COLUMN LAMINATED POSTS W/ INTEGRITY POST DISC - 1 BEAMING PLY - 20' GRAVEL	8	21'-0"

BEAM SCHEDULE			
TYPE	DESCRIPTION	QTY	LENGTH
B-01	4-RY 2X12 SPS NO.1/ NO.2	1	8'-7 1/2"



NOTES:
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SEALS:



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REV	DESCRIPTION	DATE
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F	APPROVAL	2024/11/14
G	APPROVAL	2024/11/15
O	PERMIT	2024/11/21

PROJECT TITLE:
66' X 136' X 20'
COMMERCIAL SHOP
TRIPLE T HOLDINGS INC -
DERRILL & RYAN MURPHY
ALDERSYDE, AB

DRAWING TITLE:
ELEVATIONS
PROJECT NUMBER 43305
DATE 2024/11/21
DRAWN BY MT
CHECKED BY AE
APPROVED BY DM
ENGINEER PV

A2.01

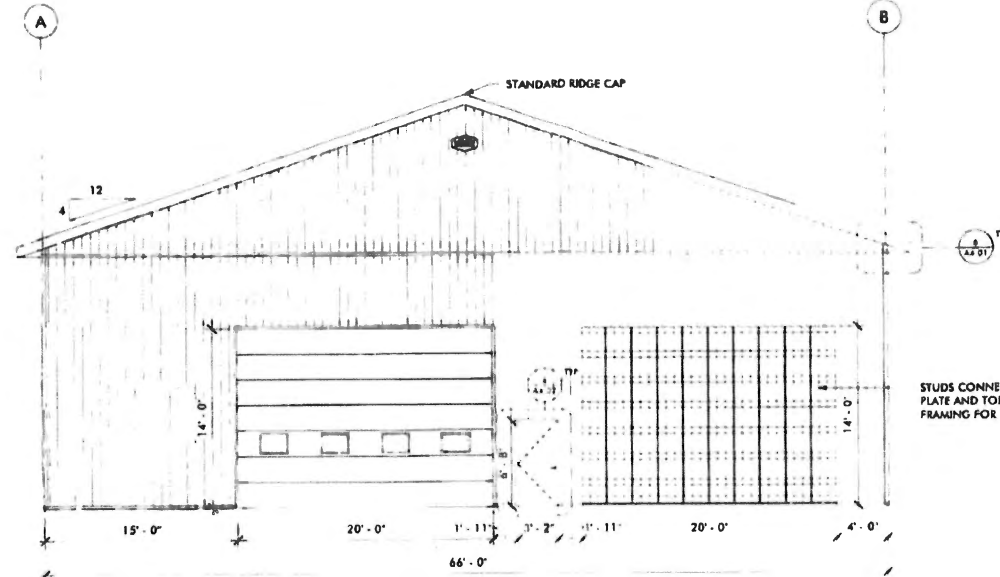
SCALE 3/16" = 1'-0"

ROOF
32'-1 7/8"

HEEL HEIGHT
21'-0"

CEILING HEIGHT
20'-0"

T.O. MAIN FLOOR
0'-0"



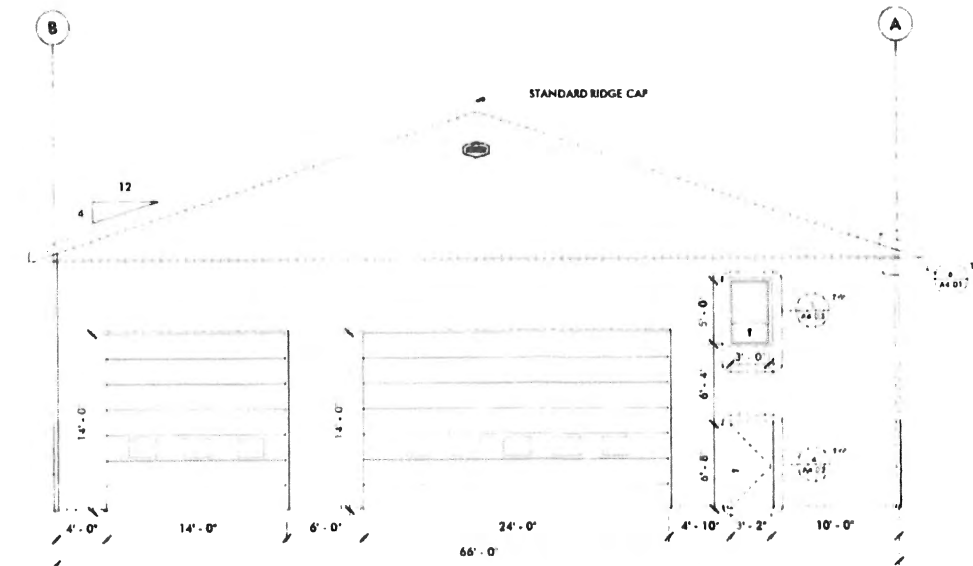
ELEVATION C - A1.01 (FACES NORTH)

ROOF
32'-1 7/8"

HEEL HEIGHT
21'-0"

CEILING HEIGHT
20'-0"

T.O. MAIN FLOOR
0'-0"



ELEVATION D - A1.01 (FACES SOUTH)

NOTES

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O	PERMIT	2024/11/21

PROJECT TITLE

66' X 136' X 20'

COMMERCIAL SHOP
**TRIPLE T HOLDINGS INC -
DERRILL & RYAN MURPHY
ALDERSYDE, AB**

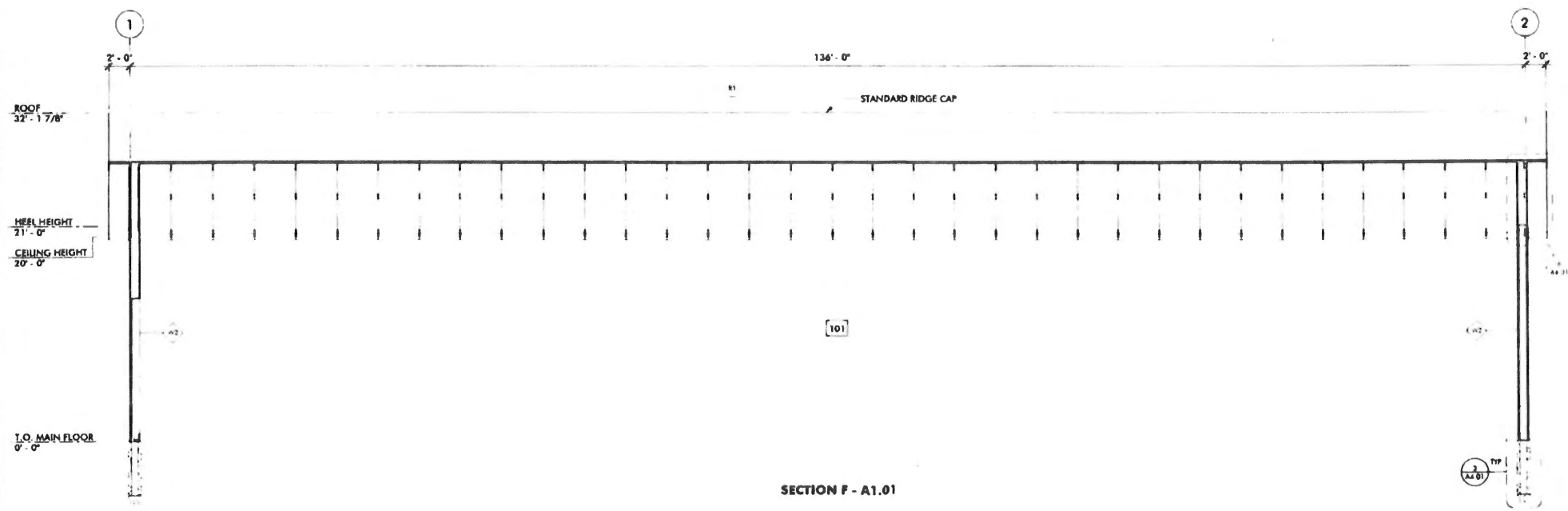
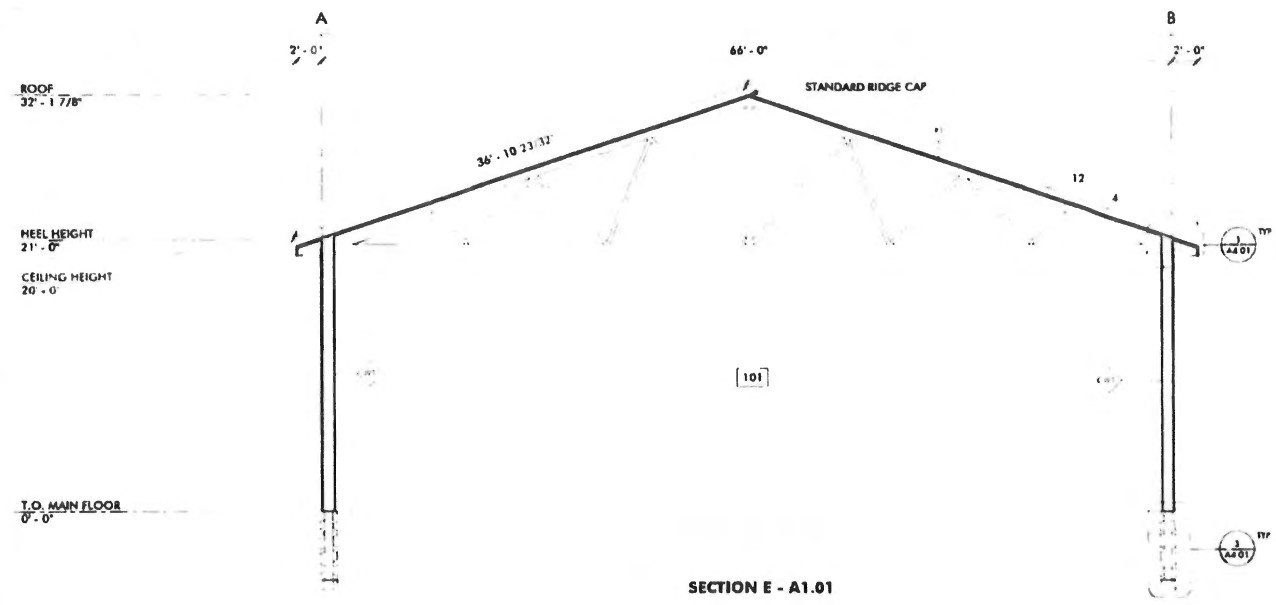
DRAWING TITLE:

ELEVATIONS

PROJECT NUMBER	43305
DATE	2024/11/21
DRAWN BY	MT
CHECKED BY	AE
APPROVED BY	DM
ENGINEER	PV

A2.02

SCALE 3/16" = 1'-0"



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PROJECT TITLE:
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TRIPLE T HOLDINGS INC -
DERRILL & RYAN MURPHY
ALDERSYDE, AB

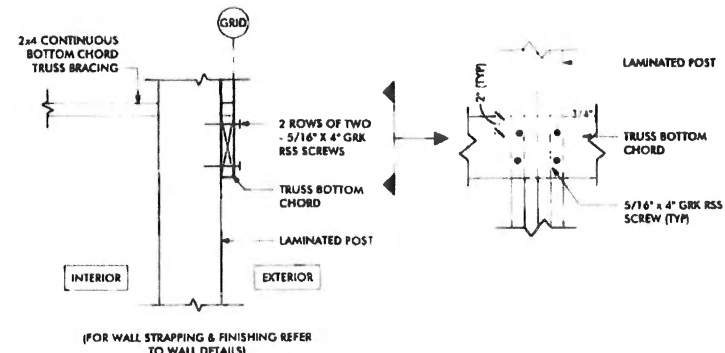
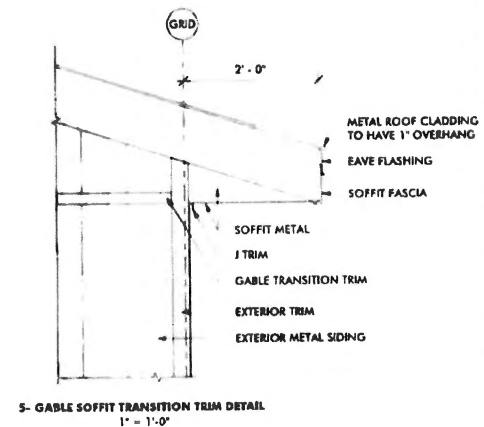
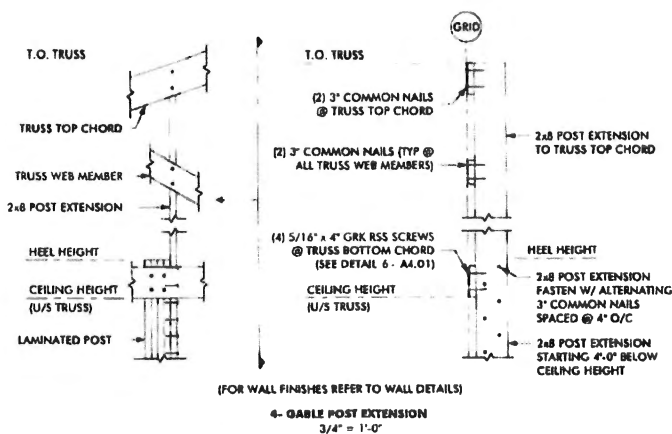
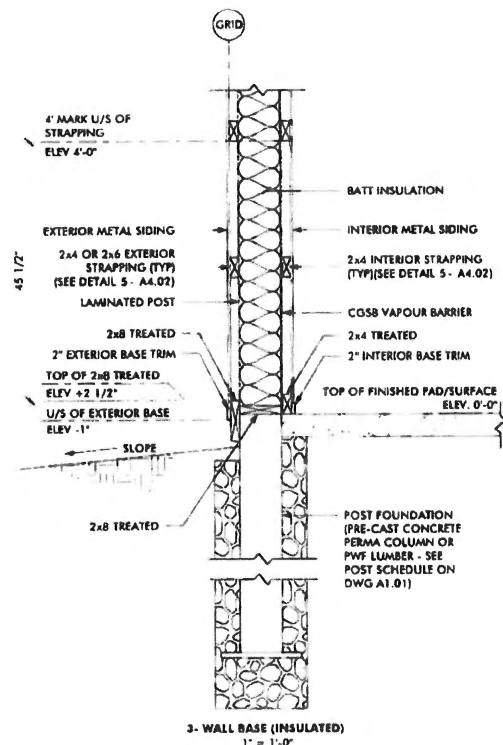
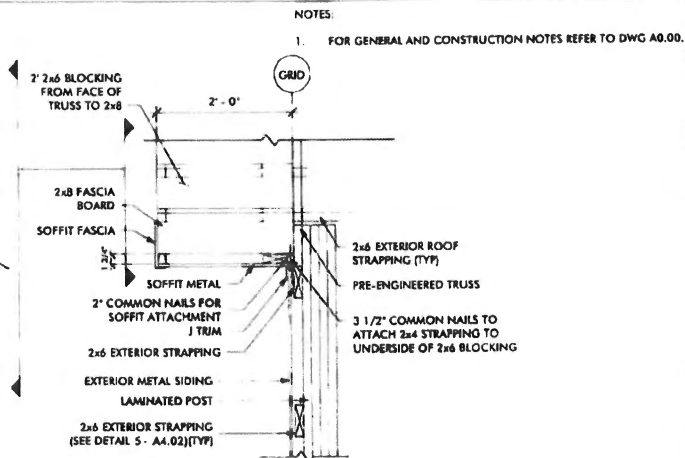
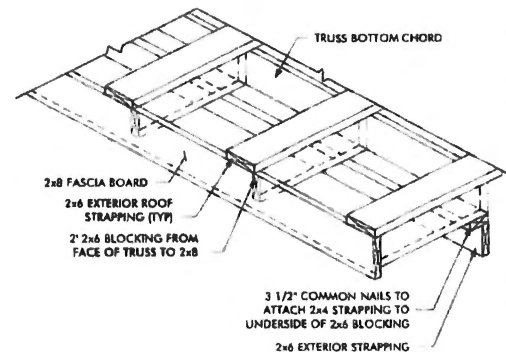
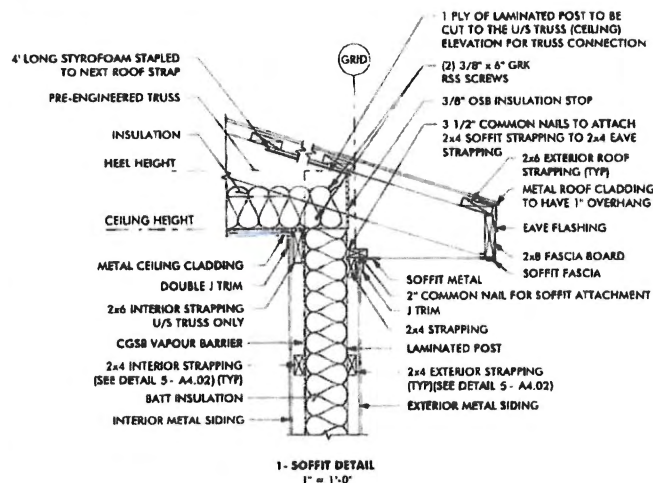
DRAWING TITLE:

SECTIONS

PROJECT NUMBER 43305
DATE 2024/11/21
DRAWN BY MT
CHECKED BY AE
APPROVED BY DM
ENGINEER PV

A3.01

SCALE 3/16" = 1'-0"



NOTES:
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SEALS:



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ISSUED FOR		
REV	DESCRIPTION	DATE
0	PERMIT	2024/11/21

PROJECT TITLE:
66' X 136' X 20'
COMMERCIAL SHOP
TRIPLE T HOLDINGS INC - DERRILL & RYAN MURPHY
ALDERSYDE, AB

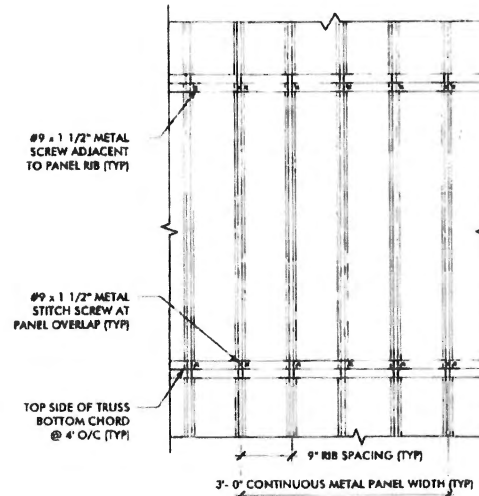
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DETAILS

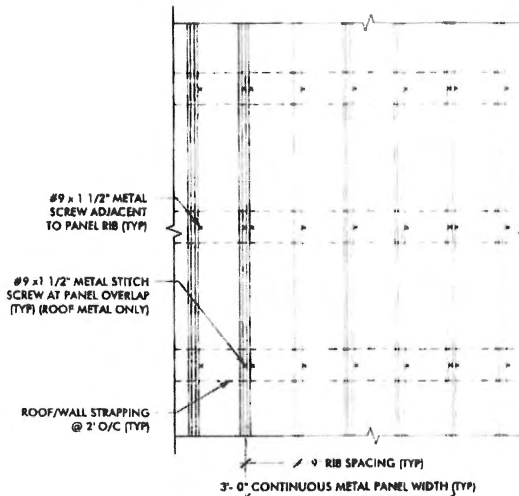
PROJECT NUMBER	43305
DATE	2024/11/21
DRAWN BY	MT
CHECKED BY	AE
APPROVED BY	DM
ENGINEER	PV

A4.01

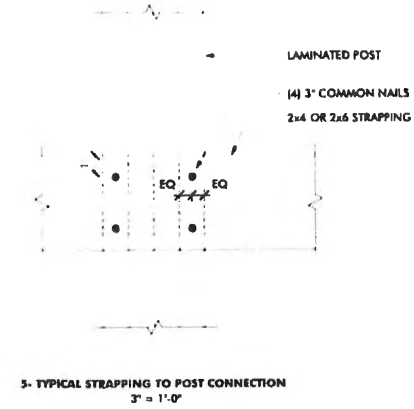
SCALE As indicated



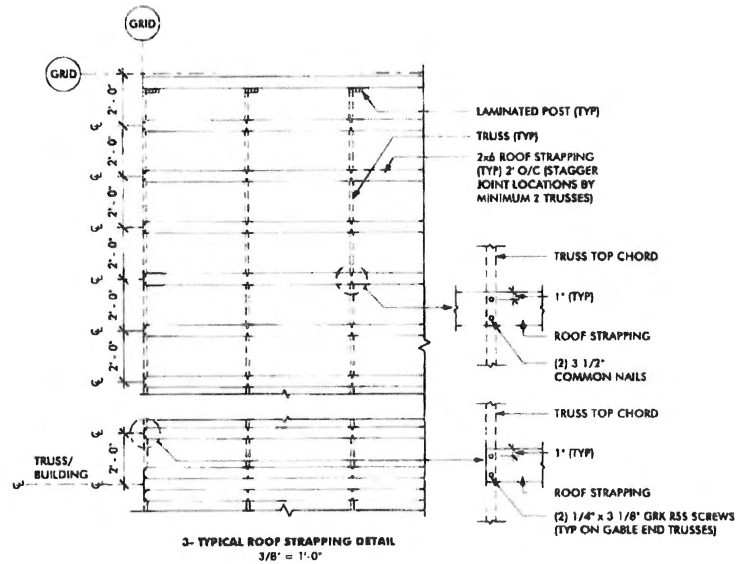
1- CEILING METAL FASTENING DETAIL
1" = 1'-0"



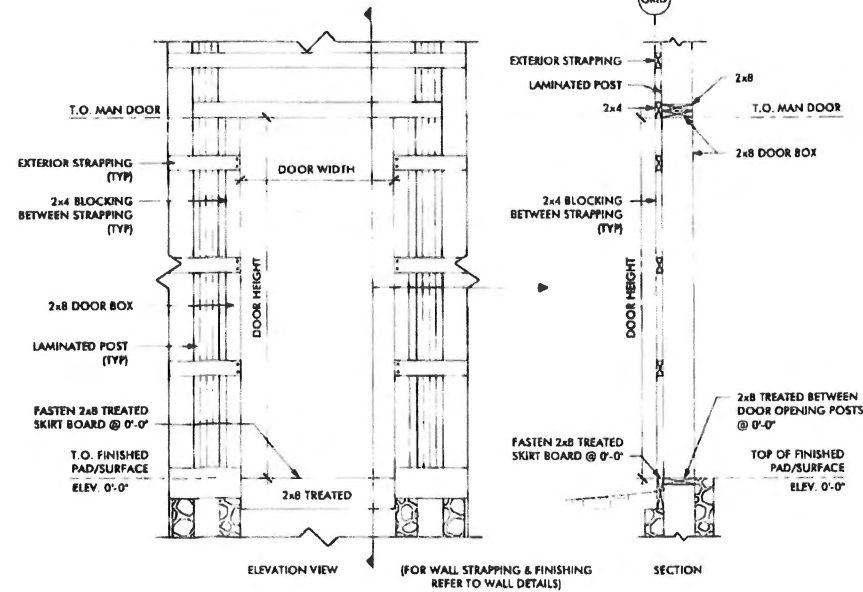
2- EXTERIOR METAL FASTENING DETAIL
1" = 1'-0"



3- TYPICAL STRAPPING TO POST CONNECTION
3" = 1'-0"



3- TYPICAL ROOF STRAPPING DETAIL
3/8" = 1'-0"



4- TYPICAL MAN DOOR FRAMING
3/4" = 1'-0"

NOTES:
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SEALS.



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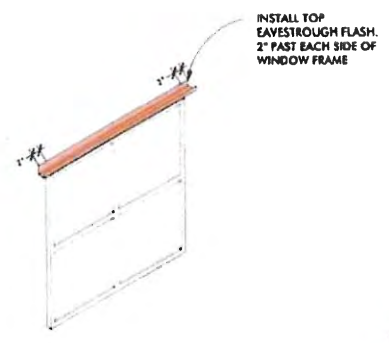
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DETAILS

PROJECT NUMBER 43305
DATE 2024/11/21
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ENGINEER PV

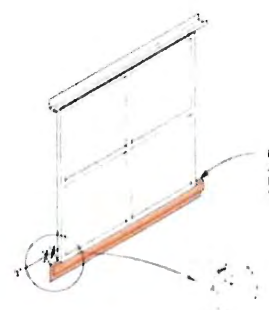
A4.02

SCALE As indicated



INSTALL TOP
EAVESTROUGH FLASH.
2" PAST EACH SIDE OF
WINDOW FRAME

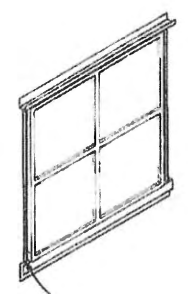
STEP 1



INSTALL BOTTOM
J-CHANNEL 2" PAST
EACH SIDE OF
WINDOW FRAME

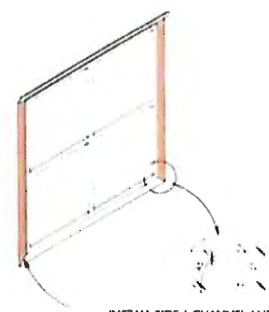
CUT 2" BACK ON EACH SIDE OF
BOTTOM J-CHANNEL AND FOLD UP

STEP 2



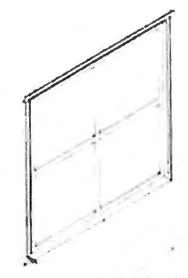
APPLY BEAD OF CAULKING BEFORE
INSTALLING SIDE J-CHANNEL

STEP 3



INSTALL SIDE J-CHANNEL AND
CUT BOTTOM AT 45° ANGLE

STEP 4



APPLY BEAD OF CAULKING
TO TOP AND SIDE TRIMS
(NOT BOTTOM) PRIOR TO
INSTALLING METAL CLADDING
ADD CLADDING TO BUILDING

STEP 5

WINDOW INSTALLATION DETAIL (TYPICAL)
1 1/2" = 1'-0"

NOTES:
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SEALS:



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REV	DESCRIPTION	DATE
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PROJECT TITLE:
66' X 136' X 20'
COMMERCIAL SHOP
TRIPLE T HOLDINGS INC -
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ALDERSYDE, AB

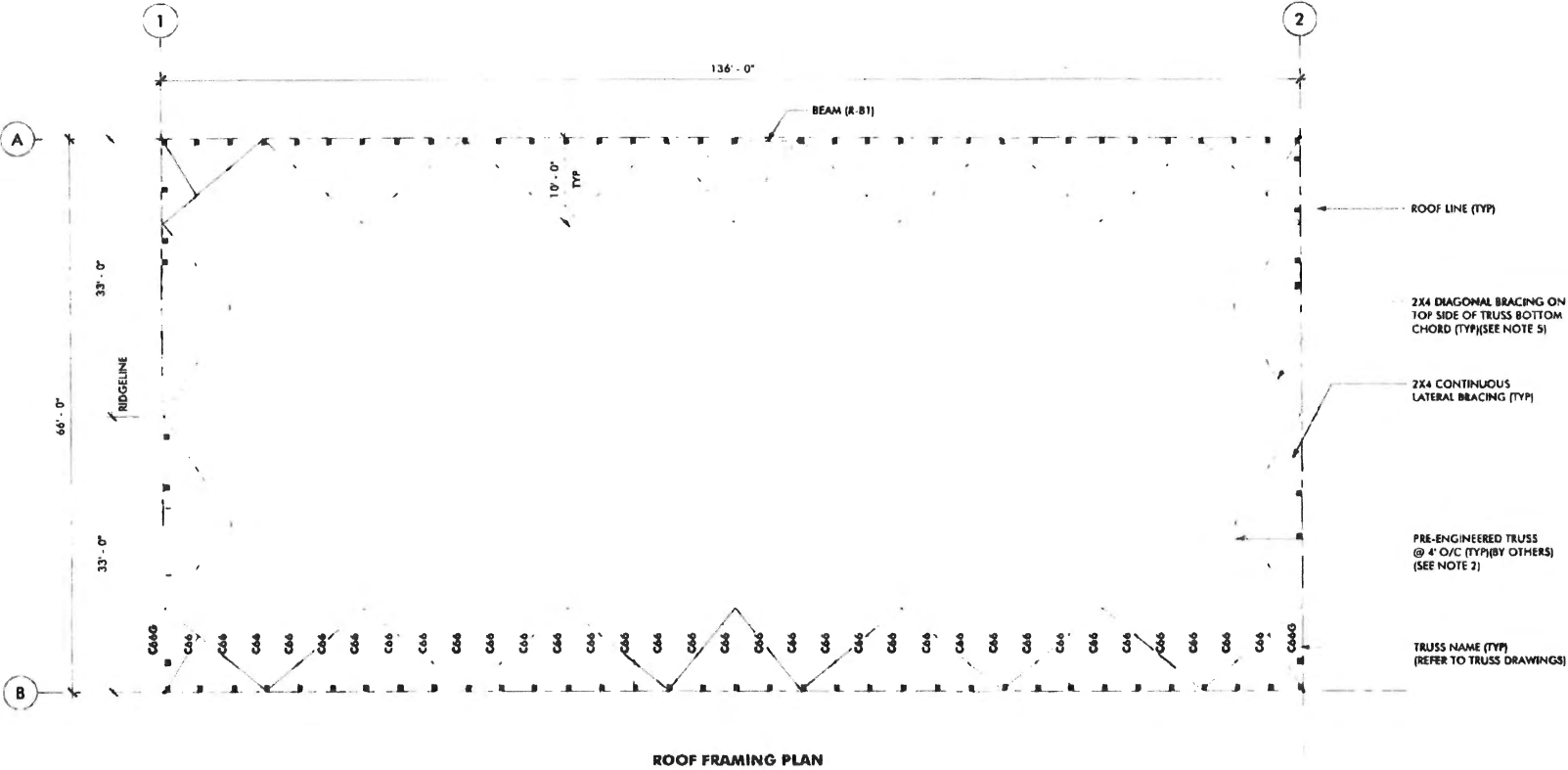
DRAWING TITLE:
**TYPICAL WINDOW
INSTALLATION**

PROJECT NUMBER 43305
DATE 2024/11/21
DRAWN BY MT
CHECKED BY AE
APPROVED BY DM
ENGINEER PV

A4.03

SCALE 1 1/2" = 1'-0"

BRACKET/HANGER SCHEDULE	
DESCRIPTION	QTY
INTEGRITY TRUSS TO BEAM BRACKET	3



- NOTES
- FOR GENERAL AND CONSTRUCTION NOTES REFER TO DWG A0.00.
 - ROOF TRUSSES ENGINEERED AND FABRICATED BY OTHERS. REFER TO TRUSS DRAWINGS FOR DESIGN DATA AND CONTINUOUS BRACING REQUIREMENTS FOR ROOF TRUSS WEB AND BOTTOM CHORD MEMBERS.
 - TRUSSES SHALL BE HANDLED AND INSTALLED ACCORDING TO THE BUILDING COMPONENT SAFETY INFORMATION (BCSI) CANADA GUIDE TO GOOD PRACTICE.
 - BRACING SHOWN ON PLAN IS FASTENED TO TRUSS BOTTOM CHORDS.
 - ALL BRACING TO TRUSS CONNECTIONS TO BE MINIMUM 2 - 3" COMMON NAILS.
 - TRUSS WEB DIAGONAL BRACING AND TRUSS WEB CHEVRON BRACING LOCATIONS ARE IDENTIFIED ON DRAWINGS A4.02.
 - FIRE BLOCK: 1 LAYER OF TYPE X 5/8" DRYWALL TAPED, RUNNING THE WIDTH OF THE BUILDING. TO BE INSTALLED ON ONE SIDE ONLY FROM THE U/S OF THE ROOFING TO THE BOTTOM OF THE TRUSS.
 - FIELD LOCATE 6 SMOKE DAMPERS AND INSTALL AS PER MANUFACTURES SPECIFICATIONS.



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SEALS



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0	PERMIT	2024/11/21

PROJECT TITLE:
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COMMERCIAL SHOP
**TRIPLE T HOLDINGS INC -
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DRAWING TITLE:
**ROOF FRAMING
PLAN**

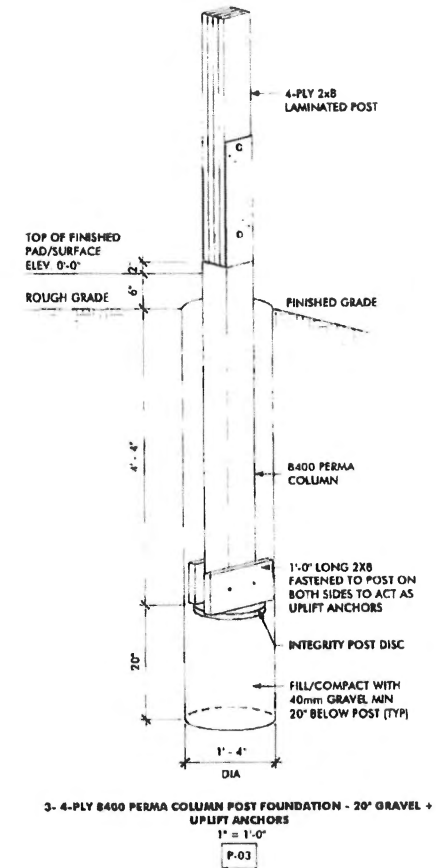
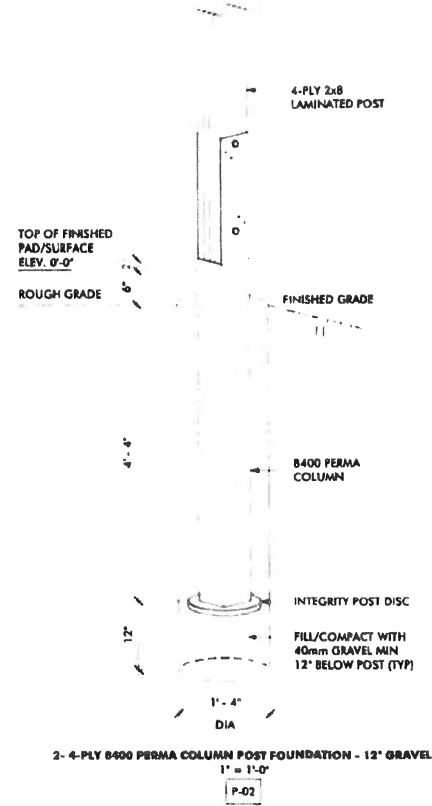
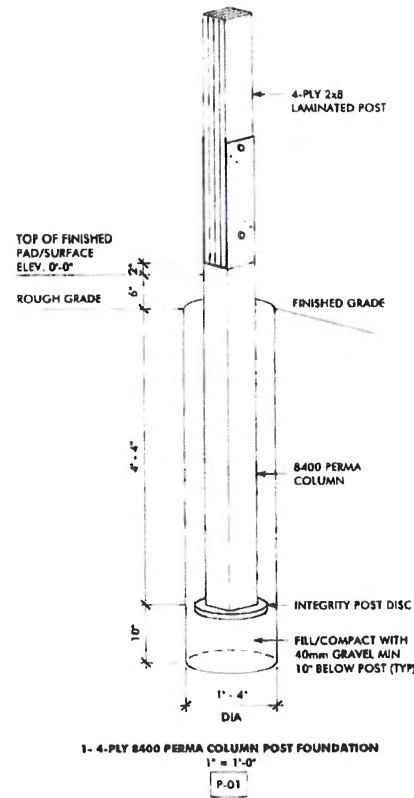
PROJECT NUMBER	43305
DATE	2024/11/21
DRAWN BY	MT
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APPROVED BY	DM
ENGINEER	PV

A5.01

SCALE 1/8" = 1'-0"

NOTES

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G	APPROVAL	2024/11/15
0	PERMIT	2024/11/21

PROJECT TITLE:

66' X 136' X 20'

COMMERCIAL SHOP
**TRIPLE T HOLDINGS INC -
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ALDERSYDE, AB

DRAWING TITLE:

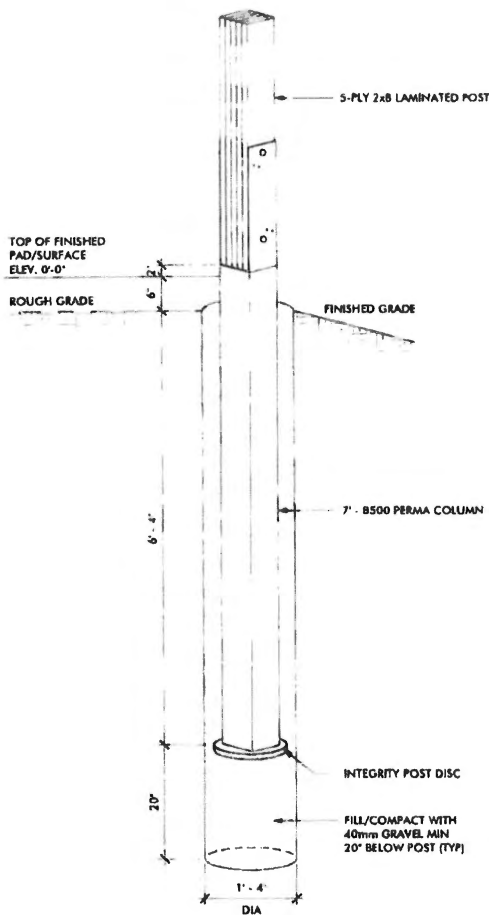
POST DETAILS

PROJECT NUMBER 43305
DATE 2024/11/21
DRAWN BY MT
CHECKED BY AE
APPROVED BY DM
ENGINEER PV

A6.01

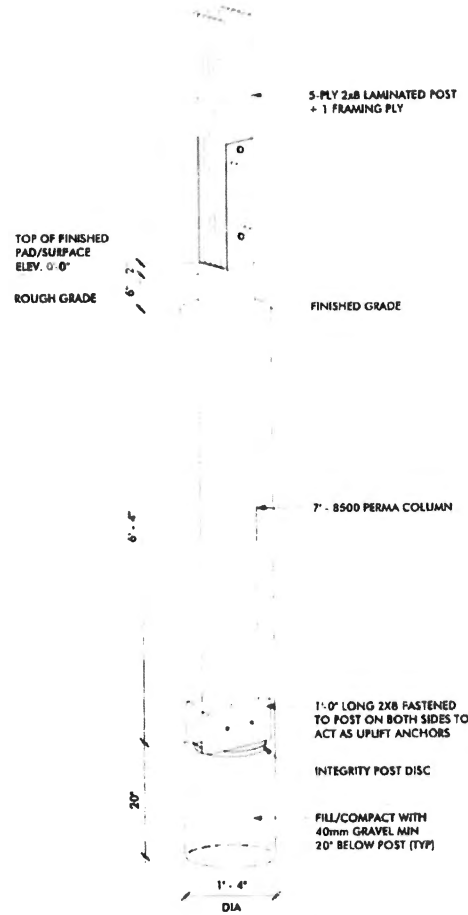
SCALE 1" = 1'-0"

NOTES:
1. FOR GENERAL AND CONSTRUCTION NOTES REFER TO DWG A0.00.



1- 5-PLY 8500 PERMA COLUMN POST FOUNDATION - 20" GRAVEL

P-04



2- 5-PLY 8500 PERMA COLUMN POST FOUNDATION + UPLIFT ANCHORS - 20" GRAVEL

P-05



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66' X 136' X 20'
COMMERCIAL SHOP
**TRIPLE T HOLDINGS INC -
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ALDERSYDE, AB

DRAWING TITLE:

POST DETAILS

PROJECT NUMBER 43305
DATE 2024/11/21
DRAWN BY MT
CHECKED BY AF
APPROVED BY DM
ENGINEER PV

A6.02

SCALE 1" = 1'-0"

DESCRIPTION

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaries provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall/ surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

SPECIFICATION FEATURES

Construction

Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing styles incorporate both a full cutoff and refractive lens design. Full cutoff and refractive lens models are available in 58W, 81W and 102W. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four 1/2" NPT threaded conduit entry points. The back box is secured by four lag bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded refractive prism optical lens assembly meeting requirements for Dark Sky compliance. Refractive lens models incorporate a molded lens

assembly designed for maximum forward throw. Solid state LED Crosstour MAXX luminaries are thermally optimized with eight lumen packages in cool 5000K, neutral 4000K, or warm 3000K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 58W, 81W and 102W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C [122°F] models available in 58W and 81W models only. Crosstour MAXX luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz, 480V 60Hz, or 347V 60Hz electrical operation. 480V is compatible for use with 480V Wye systems only.

Emergency Egress

Optional integral cold weather battery emergency egress includes emergency operation test switch (available in 58W and 81W models only), an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

Finish

Crosstour MAXX is protected with a super TGIC carbon bronze or summit white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

Warranty

Five-year warranty.

Lumark

Catalog #		Type	
Project			
Comments		Date	
Prepared by			



XTOR
CROSSTOUR
MAXX LED

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING



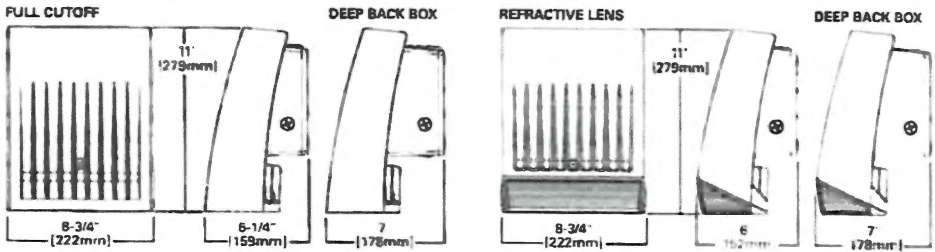
CERTIFICATION DATA
ULcUL Wet Location Listed
Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
DesignLights Consortium Qualified*
LM79 / LM80 Compliant
ROHS Compliant
NOM Compliant Models
3G Vibration Tested
UL924 Listed (CBP Models)
IP66 Rated

TECHNICAL DATA
40°C Ambient Temperature
External Supply Wiring 90°C Minimum

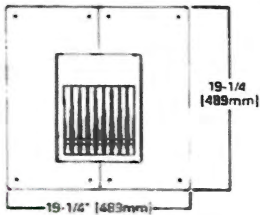
EPA
Effective Projected Area (Sq. Ft.):
XTOR68, XTOR88, XTOR128-0.54

SHIPPING DATA:
Approximate Net Weight:
12-16 lbs. (5.4-6.8 kgs.)

DIMENSIONS



ESCUTCHEON PLATES



EXTERIOR



*www.designlights.org

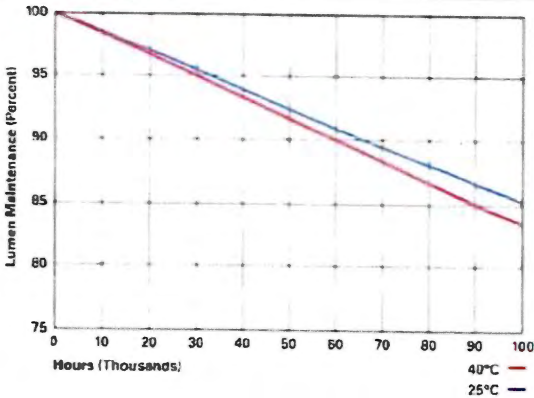
TD514005EN
November 18, 2021 9:42 PM

POWER AND LUMENS BY FIXTURE MODEL

58W Series						
LED Information	XTOR68	XTOR68RL	XTOR68-W	XTOR68RL-W	XTOR68-Y	XTOR68RL-Y
Delivered Lumens	6,129	6,225	6,038	6,133	5,611	5,826
B.U.G. Rating	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	58W	58W	58W	58W	58W	58W
81W Series						
LED Information	XTOR88	XTOR88RL	XTOR88-W	XTOR88RL-W	XTOR88-Y	XTOR88RL-Y
Delivered Lumens	8,502	8,635	8,373	8,504	7,748	8,079
B.U.G. Rating	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	81W	81W	81W	81W	81W	81W
102W Series						
LED Information	XTOR128	XTOR128RL	XTOR128-W	XTOR128RL-W	XTOR128-Y	XTOR128RL-Y
Delivered Lumens	12,728	13,458	12,539	13,258	11,861	12,595
B.U.G. Rating	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	102W	102W	102W	102W	102W	102W
EGRESS Information	XTOR68 and XTOR88 Full Cutoff CBP Egress LED			XTOR68 and XTOR88 Refractive Lens CBP Egress LED		
Delivered Lumens	509			488		
B.U.G. Rating	N.A.			N.A.		
CCT (Kelvin)	4000K			4000K		
CRI (Color Rendering Index)	65			65		
Power Consumption (Watts)	1.8W			1.8W		

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR68 Model		
25°C	> 90%	246,000
40°C	> 88%	217,000
50°C	> 88%	201,000
XTOR88 Model		
25°C	> 89%	219,000
40°C	> 87%	195,000
50°C	> 86%	181,000
XTOR128 Model		
25°C	> 89%	222,000
40°C	> 87%	198,000



CURRENT DRAW

Voltage	Model Series				
	XTOR68	XTOR88	XTOR128	XTOR68-CBP (Fixture/Battery)	XTOR88-CBP (Fixture/Battery)
120V	0.51	0.71	0.94	0.60/0.25	0.92/0.25
208V	0.25	0.39	0.52		
240V	0.25	0.35	0.45		
277V	0.22	0.31	0.39	0.38/0.21	0.50/0.21
347V	0.19	0.25	0.33		
480V	0.14	0.19	0.24		



Cooper Lighting Solutions
1721 Highway 28 East
Pomona, CA 92665
951.770.1800
www.cooperlighting.com

Spec. Material and
Dimensions subject to
change without notice.

ORDERING INFORMATION

Sample Number XTOR6B-W-WT-PC1

Domestic Preferences ¹¹	Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)
[Blank]=Standard BAA=Buy American Act TAA=Trade Agreements Act	Full Cutoff XTOR6B=58W XTOR8B=81W XTOR12B=102W Refractive Lens XTOR6BRL=58W XTOR8BRL=81W XTOR12BRL=102W	[Blank]=Bright White (Standard) 5000K W=Neutral, 4000K Y=Warm, 3000K	[Blank]=Carbon Bronze (Standard) WT=Summit White BK=Black BZ=Bronze AP=Grey GM=Graphite Metallic DP=Dark Platinum	347V=347V ^{2,3,4,5} 480V=480V ^{2,3,4,5,6} PC1=Photocontrol 120V ⁷ PC2=Photocontrol 208-277V ^{1,8} MS-L20=Motion Sensor for ON/OFF Operation ^{2,3,5,10} MS/DIM-L20=Motion Sensor for Dimming Operation ^{2,3,5,10,12,13} CBP=Cold Weather Battery Pack ^{2,3,10,15,16} HA=50° C High Ambient ¹⁴
Accessories (Order Separately) ¹⁵				
WG-XTORMX=Crosstour MAXX Wire Guard PB120V=Field Installed 120V Photocontrol PB277V BUTTON PC=Field Installed 208-277V Photocontrol ⁴			EWP/XTORMX=Escutcheon Wall Plate, Carbon Bronze EWP/XTORMX-WT=Escutcheon Wall Plate, Summit White FSIR-100=Wireless Configuration Tool for Occupancy Sensor ¹⁶	

NOTES:

- DesignLights Consortium[®] Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.
- Not available with HA option.
- Deep back box is standard for 347V, 480V, CBP, MS-L20 and MS/DIM-L20.
- Not available with CBP option.
- Thru-branch wiring not available with HA option or with 347V.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Not available with MS-L20 and MS/DIM-L20 options.
- Use PC2 with 347V or 480V option for photocontrol. Factory wired to 208-277V lead.
- For use in downlight orientation only. Optimal coverage at mounting heights of 9'-20'.
- 120V thru 277V only.
- Factory set to 50% power reduction after 15-minutes of inactivity. Brooming driver included.
- Includes integral photo sensor.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff, and more. Consult your lighting representative at Cooper Lighting Solutions for more information.
- 120V or 277V operation only.
- Operating temperatures -20°C to 25°C.
- Not available in XTOR12B or XTOR12BRL models.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCE](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

STOCK ORDERING INFORMATION

Domestic Preferences ¹¹	58W Series	81W Series	102W Series
[Blank]=Standard	Full Cutoff		
BAA=Buy American Act	XTOR6B=58W, 5000K, Carbon Bronze	XTOR8B=81W, 5000K, Carbon Bronze	XTOR12B=102W, 5000K, Carbon Bronze
TAA=Trade Agreements Act	XTOR6B-PC1=58W, 5000K, 120V PC, Carbon Bronze	XTOR8B-PC1=81W, 5000K, 120V PC, Carbon Bronze	
	XTOR6B-WT= 58W, 5000K, Summit White	XTOR8B-WT=81W, 5000K, Summit White	
	XTOR6B-W=58W, 4000K, Carbon Bronze	XTOR8B-PC2=81W, 5000K, 208-277V PC, Carbon Bronze	
	XTOR6B-PC2= 58W, 5000K, 208-277V PC, Carbon Bronze	XTOR8B-347V=81W, 5000K, Carbon Bronze, 347V	
	Refractive Lens		
	XTOR6BRL=58W, 5000K, Refractive Lens, Carbon Bronze	XTOR8BRL=81W, 5000K, Refractive Lens, Carbon Bronze	XTOR12BRL=102W, 5000K, Refractive Lens, Carbon Bronze
	XTOR6BRL-PC1=58W, 5000K, Refractive Lens, 120V PC, Carbon Bronze	XTOR8BRL-PC1=81W, 5000K, Refractive Lens, 120V PC, Carbon Bronze	XTOR12BRL-W=102W, 4000K, Refractive Lens, Carbon Bronze
	XTOR6BRL-WT=58W, 5000K, Refractive Lens, Summit White	XTOR8BRL-WT=81W, 5000K, Refractive Lens, Summit White	XTOR12BRL-347V=102W, 5000K, Refractive Lens, Carbon Bronze, 347V
	XTOR6BRL-W= 58W, 4000K, Refractive Lens, Carbon Bronze	XTOR8BRL-PC2=81W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze	
	XTOR6BRL-PC2=58W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze	XTOR8BRL-W=81W, 4000K, Refractive Lens, Carbon Bronze	
	XTOR6BRL-347V=58W, 5000K, Refractive Lens, Carbon Bronze, 347V	XTOR8BRL-347V = 81W, 5000K, Refractive Lens, Carbon Bronze, 347V	

NOTES:

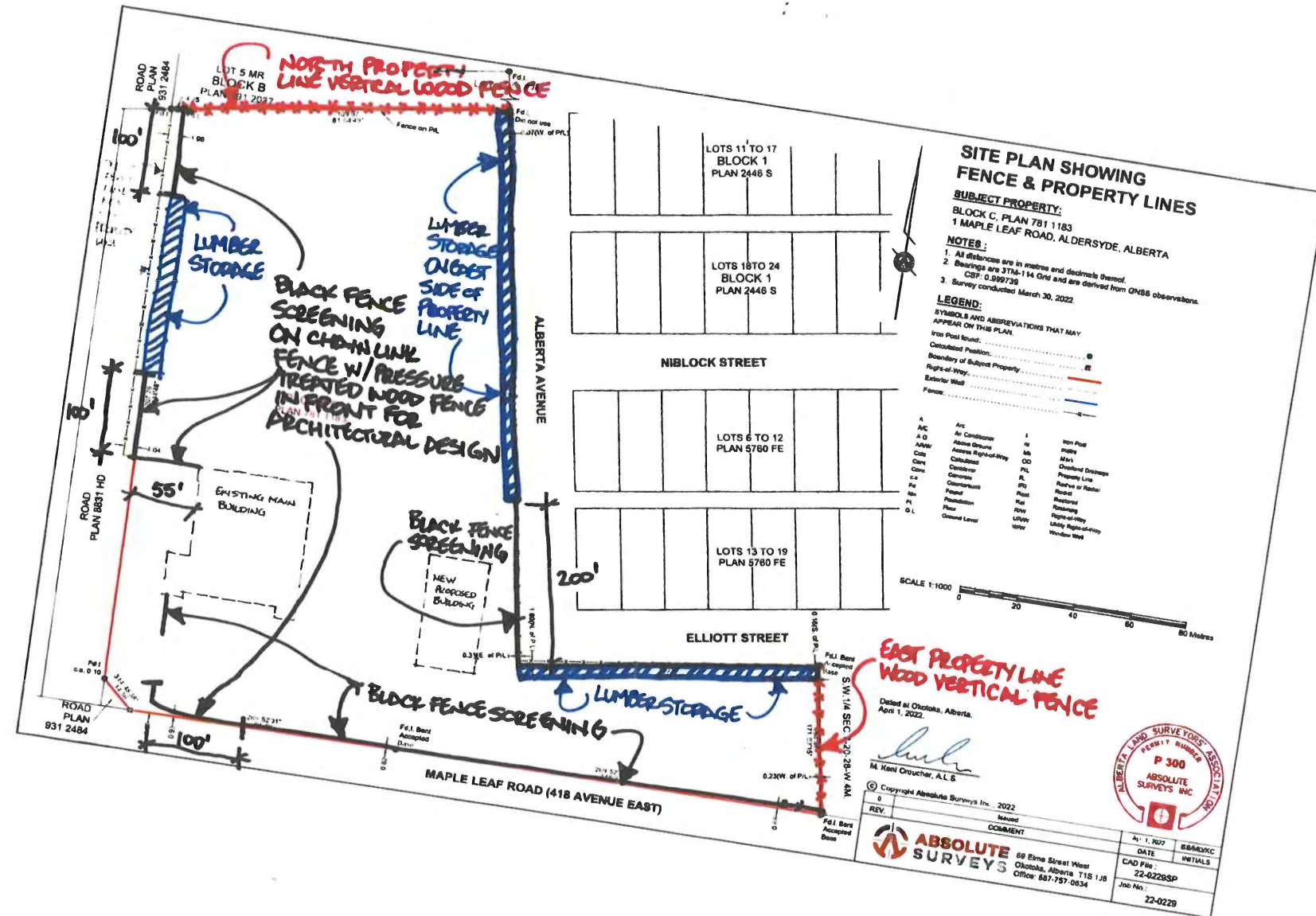
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Cooper Lighting Solutions
1171 Highway 101
Birmingham, AL 35209
P: 770-585-2722
www.cooperlighting.com

Specifications and
other related
information

TD514005EN
November 18, 2021 9:42 PM



Timber Tech Truss – Aldersyde Site Screening Plan proposal

Nov 2024

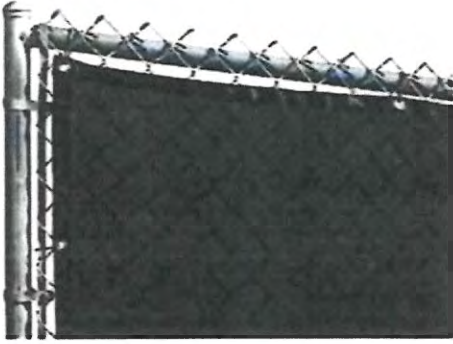
Please see below and attached the proposed screening plan along all the fence lines for the Timber Tech Truss facility in Aldersyde.

There has been preliminary discussion with Brenda Bartnik at Foothills County on the ideas below and she has provided some positive direction on these recommendations.

- 1. The TT Site plan attachment showing the different types of screening materials and proposed locations around the perimeter of the Timber Tech Truss facility.
- 2. TimberTech proposes a new pressure treated fence along the north end of the site and the southeast site of the site for the property on Pacific Avenue. This pressure treated fence is being proposed in these locations as this is where homeowners directly back onto Timber Tech property. This fence costs ~\$55 per lin foot to install. There is ~550 linear feet of fence proposed on the site plan for this material. Total install cost ~\$31,000.



- 3. The next fence type is a combination pressure treated wood fence and black screening creating a unique architectural design element at Timber Tech's most visible location along HWY 2A. See the black screening picture below, the West fence line screening along HWY 2A, and wood fence line screening along Maple Leaf and Entrance attachments for clear visual. This wood fence portion has an installation cost of ~\$30 per lin foot. There is ~400 linear feet of fence proposed for this material. The wood fence portion is \$12,000. The black screening comes in 50' lengths. It will require 8 sections of black screening. It is assumed that Timber Tech can install the black screening internally so no additional cost for labour has been included. The cost for a 5'8" high by 50' long section is \$115. 8 sections at \$115 is \$1,000. This combination architectural fencing will cost a total of ~\$13,000.



There is ~950 linear feet of black screening only being added to the existing fence in 3 separate locations. One on a portion of the east fence line, one along the south fence line on Maple Leaf Road and a small section near the front entrance to the main building. This is shown on the TT site plan attached. This requires another 20 sections of 50' long black screening. 20 sections at \$115 is ~\$2,500.

There is ~1100 linear feet of screening which Timber Tech will utilize the raw material (lumber, LVL and joists) stacked along the perimeter in strategic locations to create a barrier or architectural feature. One location is along HWY 2A between the wood fence and black screening locations. The other two locations are along Alberta Avenue and Elliot Street to create a sound barrier with residences in Aldersyde.

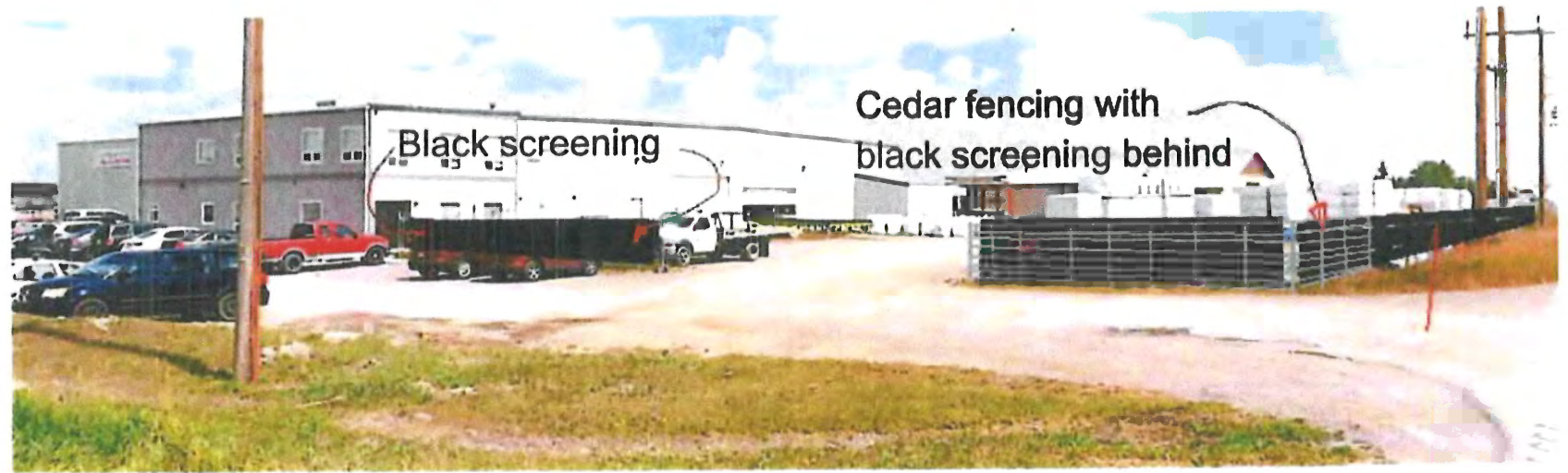
The estimated total cost for all screening is ~\$46,500.

If you could please provide feedback or approval by end of day ~~Tuesday Nov 19, 2024~~, that would great. If this is not possible, please advise. Just trying to keep the process moving forward.

Not previously submitted



1.0 Visual from Highway 2A



2.0 Visual from Highway 2A of entrance in Timber Tech with new screening.



FOOTHILLS COUNTY
500 Macleod Trail, Box 5007
High River, Alberta T1V 1M1
Phone: (403) 672-2391
Fax: (403) 672-7860
www.foothillscountyab.ca
planning@foothillscountyab.ca

May 8, 2023

Timber-Tech Truss Inc
David Thompson



COPY

Dear Sir/Madam:

**Re: Development Permit 22D 092
Ptn: SW 07-20-28 W4M; Plan 7811183, Block C
Change in Intensity of Use / Addition to Building – Storage Compound & Industry,
General**

Further to a review of open files, we note that the referenced approved development file remains open and the development permit has not been issued.

As per section 5.4.4 of the current Land Use Bylaw, pre-release conditions must be met within 5 months of the decision being released, unless otherwise stated in the Development Permit decision. Alternately, a time extension to complete pre-release conditions may be offered if under agreement between the Development Authority and the Applicant(s).

If you intend on proceeding with the identified development but require more time to complete the pre-release conditions noted below, please submit a written request to our office for a time extension, indicating the specifics as to the delay and when the pre-release conditions are expected to be fulfilled.

The following pre-release conditions of the Development Officers Decision remain to be fulfilled:

1. The applicant is required to submit a refundable security deposit in the amount of \$3,000 in order to ensure compliance with the Alberta Building and Fire Codes for the proposed use and occupancy of the development. This security will be refunded at such time that written confirmation for occupancy of the structure is provided by the County's Safety Codes Officer and the Foothills Fire Department's Fire Inspector.

If you have questions or concerns, please contact the undersigned Development Officer.

Yours truly,
FOOTHILLS COUNTY

Brenda Bartnik
Development Officer
brenda.bartnik@foothillscountyab.ca
(403) 603-6222

BB/bs

encl

Brenda Bartnik

From: Brenda Bartnik
Sent: August 24, 2022 1:01 PM
To: 'Dave Thompson'
Subject: RE: Thank you for today's site visit

Thank you.

I will mark condition 7. of the Board Order as having been completed.

Please be reminded that all signs shall be kept in a safe, clean and tidy condition for the life of the development, and may be required to be renovated or removed if not properly maintained.

Brenda Bartnik
Planning & Development Officer
Foothills County
Direct line: (403) 603-6222
Brenda.bartnik@foothillscountyab.ca

From: Dave Thompson <davet@timbertechtruss.com>
Sent: August 24, 2022 12:11 PM
To: Brenda Bartnik <Brenda.Bartnik@FoothillsCountyAB.ca>
Subject: Re: Thank you for today's site visit

Hi Brenda,

Both of our signs are:

4' x 16'x 1/2" Crezone Sign w/ IJ35/Lam Print
and are mounted to the building's structure with screws.
Both signs were manufactured and installed professionally by
Spy Design in Okotoks

Thanks
Dave Thompson

Cell: 403-603-4346 Fax: 403-603-4346
E: davet@timbertechtruss.ca W: www.timbertechtruss.ca



Committed to providing Experience, Professionalism
and Quality in all that we do

On Wed, Aug 24, 2022 at 11:51 AM Brenda Bartnik <Brenda.Bartnik@foothillscountyab.ca> wrote:

Thank you Dave,

In order to fulfill Condition 7. of the issued Board Order, can I ask that you provide me with the following information respecting the signs:

1. sign dimensions/total area of each sign;
2. materials and thickness of each sign;
3. mounting/installation details

Brenda Bartnik

Planning & Development Officer

Foothills County

Direct line: (403) 603-6222

Brenda.bartnik@foothillscountyab.ca

From: Dave Thompson <davet@timbertechtruss.com>

Sent: August 9, 2022 8:01 AM

To: Brenda Bartnik <Brenda.Bartnik@FoothillsCountyAB.ca>

Subject: Re: Thank you for today's site visit

Good Morning Brenda,

We have finally installed our signage on the main building. Please see the attached photos.

If you have any questions or concerns please let me know.





Thank you

Dave Thompson



On Tue, Jul 12, 2022 at 1:59 PM Brenda Bartnik <Brenda.Bartnik@foothillscountyab.ca> wrote:

Thank you for taking the time to show me around your site this morning.

A reminder of the following:

- The idea behind the design guidelines for commercial/industrial development within the Highway 2A Industrial Corridor is generally cohesive, sustainable development. When refinishing, repairing and/or replacing existing development, I encourage you to take a look at some of the items that are referred to within the County's Design Guidelines for the Corridor (found here: <https://www.foothillscountyab.ca/sites/default/files/2022-04/2021-03-H2AIASP%20Design%20Guidelines-FINAL%20APPROVED%20%281%29.pdf>).

Some of the basic items the development design team normally looks for when reviewing applications are:

- Exterior finishing
 - complimentary finishes for all buildings on a site, the breaking up of long expanses of wall with the use of color blocking, varying material, etc.
 - Coloring man doors and overhead doors to match or complement a building versus plain white
 - The use of sunshine panels in overhead doors, or similar windows in second level storage mezzanines (kudos, as it appears that a set of these exists toward the west side/on the south face of the building), or clear roof ridge caps
 - Delineation of principal entryways to a building using canopies, basic overhangs, etc.
- Dark sky lighting (building and yard)
- Accessible parking stalls with post or fascia mounted signage
- Parking bumpers/jerseys to protect walkways, infrastructure, and buildings
- Secondary containment for fuel storage and recycling
- Another item I really liked seeing exist at your site was the picnic tables outside

- I have attached a copy of the screening standards so that you have it digitally

Be sure to let me know if you have any questions.

Brenda Bartnik

Planning & Development Officer

Foothills County

Direct line: (403) 603-6222

Brenda.bartnik@foothillscountyab.ca

[EXTERNAL EMAIL] This email has originated from outside of the Foothills County organization. Do not click on any links or open any attachments unless you recognize the senders Name and Email address.

[EXTERNAL EMAIL] This email has originated from outside of the Foothills County organization. Do not click on any links or open any attachments unless you recognize the senders Name and Email address.

May 10, 2022

Dear Sir/Madam;

Re: Response to notice of Incomplete Development Application #22D 092

Response to your May 5 letter will be numerable to correspond with letter.

- 1) A) Snow is plowed to vacant areas on property. Hauled away by contractor if required.
b) All snow storage areas are minimum of 10 meters from property lines All melting water drainage follows natural drainage to west side of property or to holding areas.
ii) There is no obstruction to circulation for emergency access.
- 2) Well, is protected by landscaping boulders.
- 3) All garbage and recycling bins are contracted to contractor, location is screened by buildings on site from the view of area lands.
- 4) Water is supplied from on site well waste water and septic tank is a pump-out system. Well has been operating since 1979. We will locate water approval or request same from Dept. of Environment.
- 5) Employment fluctuates from 28 to 33 employees. Additional employees not expected.
- 6) Average deliveries per day is 6. Made up of 2 - 40' 0" truck /trailers and 4 30' 0": truck/trailer units
- 7) Parking west side of SW corner, 96 meters x 17 meters area, 46 parking stalls 2.5x 5.5 M.
- 8) There is no underground fuel tank nor one planned for future. There is a 2200 L diesel tank on site protected by concrete blocks'
- 9) Lighting on addition will meet County's Dark Sky Bylaw, exterior lights will be shielded and directed down.
- 10) There will be no additional signage other then existing 2 4'- 16'-0" signs.
- 11) We are presently requesting quotes to provide new fencing that will provide screening along the West side north of main building and along the South property line. We will submit fencing design when completed.

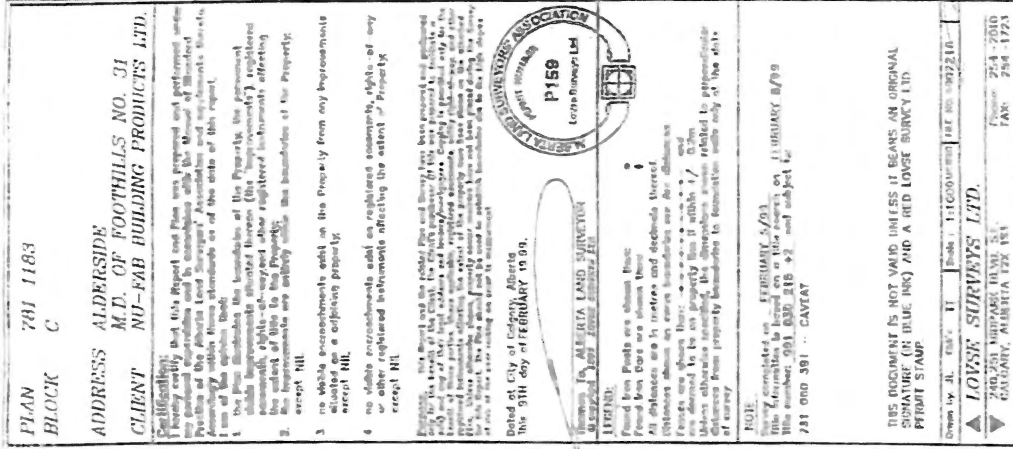
Contact me if you require any additional information or clarifications on application.

Derrill Murphy

President; Timber Tech Truss Inc.



PLAN 781 1183
BLOCK C



Brenda Bartnik

From: Appeals
Sent: August 8, 2022 8:36 AM
To: Brenda Bartnik
Subject: FW: Pictures for Hearing Aug 9 -22 22D 092
Attachments: Fenceline along Alberta Ave.jpg; Fenceline bordering Alberta Ave.jpg; Metal Fenc Aldersyde 81st St .jpg; Fenceline along Elliott St(facing west).jpg; Fenceline along Elliott St (pic faces east).jpg; Waste tabs from wood with dangerous staples.jpg; Wooden Fence Aldersyde.jpg; Timber Tech Trap along fence line Elliott St.jpg

Hi Brenda,

I will send this off to the applicant and Board today.

Kind regards,
Felicia Fairweather
Legislative Services Assistant
P: 403-603-6254
Foothills County
309 Macleod Trail, Box 5605, High River Alberta, T1V 1M7
www.foothillscountyab.ca

From: [REDACTED]
Sent: August 6, 2022 11:19 AM
To: Appeals <Appeals@FoothillsCountyAB.ca>
Subject: Pictures for Hearing Aug 9 -22 22D 092

Hello Ms. Felicia Fairweather,

Attached are the pictures I spoke of from our phone conversation on Friday.
I would like to address these at the hearing if possible.

Best Regards,
Christine Law

[EXTERNAL EMAIL] This email has originated from outside of the Foothills County organization. Do not click on any links or open any attachments unless you recognize the senders Name and Email address.

















Brenda Bartnik

From: Brenda Bartnik
Sent: August 24, 2022 12:51 PM
To: [REDACTED]
Subject: FW: Development Appeal Board Decision - 22D 092
Attachments: D11-22 - Timber-Tech Truss Inc - August 9 2022.pdf

Hi Christine,

I hope today is a good day for you.

Further to the Appeal Board's release of the decision with respect to Timber-Tech's application for development permit, I am hoping to provide some clarity with respect to the Board's reference to the Community Standards Bylaw under the Reasons for Decision.

With respect to noise on properties, it would be anticipated that unnecessary noise would not occur, and that noise related to standard business operations would be restricted to daytime hours which are currently identified as: 7:00 AM until 9:00 PM weekdays and 9:00 AM until 9:00 PM weekends.

I also spoke with the County's Ag Services department respecting the noted concerns about gophers and was told that while gophers are a nuisance, there is unfortunately no regulation that obligates a person to control them. As it apparently has been on more than one person's mind of late, I am hoping that that department is going to undertake some public education with respect to the varmints. I.e. an article in the newsletter was mentioned.

Please feel free to let me know of any questions that you may have.

Brenda Bartnik
Planning & Development Officer
Foothills County
Direct line: (403) 603-6222
Brenda.bartnik@foothillscountyab.ca

From: Appeals <Appeals@FoothillsCountyAB.ca>
Sent: August 23, 2022 10:51 AM
Cc: Appeals <Appeals@FoothillsCountyAB.ca>
Subject: Development Appeal Board Decision - 22D 092

Good morning,

Please find the attached Development Appeal Board Decision for Development Permit 22D 092.

A copy has been mailed to you for your records.

Kind regards,

DEVELOPMENT APPEAL BOARD

Box 5605 High River, Alberta T1V 1M7
Phone: 403-652-2341 Fax: 403-652-7880
Appeals@FoothillsCountyAB.ca

July 26, 2022

Christine Law


Dear Sir/Madam:

RE: Development Permit Application 22D 092

Applicant / Landowner: David Thompson / Timber-Tech Truss Inc.

Appellant: Christine Law

Legal: Plan 7811183, Block C, PTN. SW 07-20-28 W4M

Appeal against the Approval of 22D 092 for Change in Intensity of Use/Addition to Building – Storage Compound & Industry, General

An appeal has been received against the approval of the above-noted application for Change in Intensity of Use/Addition to Building – Storage Compound & Industry, General, and therefore a hearing has been scheduled before the Development Appeal Board to consider the matter. **The appeal hearing is scheduled for Tuesday, August 9, 2022 at 12:30 p.m.**

Landowners within one-half mile of the subject quarter section will be notified by mail, and the appeal hearing will be advertised in one issue of the Western Wheel. Any persons affected by the application, or the appeal may make a presentation to the Board in advance of, or during the hearing, either in person or in writing.

In response to the current COVID-19 pandemic, Foothills County has implemented procedural changes; all appeal board hearings will now be conducted by way of electronic communications using the Zoom video conferencing platform. Your (or your agent's) participation remains a very important component of the Development Appeal Board hearing, so we have developed options for you to take part online via Zoom, by conference call, by email, or by submitting a letter. Appeal Board Hearings will also be live streamed on YouTube; you can access the link from our website at FoothillsCountyAB.ca.

IMPORTANT: To participate **you must pre-register by 4:30 PM on Friday, August 5, 2022.** Please refer to the enclosed instruction sheet for details on how to register.

The application file will be available for viewing on our website at FoothillsCountyAB.ca. An electronic copy will be made available upon request.

Please contact the file manager, Development Officer Brenda Bartnik, should you have any questions.

Yours truly,
FOOTHILLS COUNTY



Felicia Fairweather
Development Appeal Board Clerk
FF/Encl.

DEVELOPMENT APPEAL BOARD

Box 5605 High River, Alberta T1V 1M7
Phone: 403-652-2341 Fax: 403-652-7880
Appeals@FoothillsCountyAB.ca

July 26, 2022

David Thompson
Timber – Tech Truss Inc.


Dear Sir/Madam:

RE: Development Permit Application 22D 092

Applicant/Landowner: David Thompson / Timber-Tech Truss Inc.

Appellant: Christine Law

Legal: Plan 7811183, Block C, PTN. SW 07-20-28 W4M

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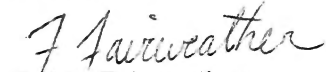
In response to the current COVID-19 pandemic, Foothills County has implemented procedural changes; all appeal board hearings will now be conducted by way of electronic communications using the Zoom video conferencing platform. Your (or your agent's) participation remains a very important component of the Development Appeal Board hearing, so we have developed options for you to take part online via Zoom, by conference call, by email, or by submitting a letter. Appeal Board Hearings will also be live streamed on YouTube; you can access the link from our website at FoothillsCountyAB.ca.

IMPORTANT: To participate **you must pre-register by 4:30 PM on Friday, August 5, 2022.** Please refer to the enclosed instruction sheet for details on how to register.

The application file will be available for viewing on our website at FoothillsCountyAB.ca. An electronic copy will be made available upon request.

Please contact the file manager, Development Officer Brenda Bartnik, should you have any questions.

Yours truly,
FOOTHILLS COUNTY



Felicia Fairweather
Development Appeal Board Clerk
FF/Encl.

Cc: wendym@timbertechtruss.com; 

Participation in hearings may be conducted using one of the following methods:

1. MAKE YOUR PRESENTATION TO THE BOARD VIA ZOOM

In order to participate, you must first register by email to appeals@foothillscourtyab.ca and include the following information:

- **Name of Applicant, Application, or File Number, and Date and Time of the Appeal Board Hearing(s) you are attending**
- **Your Name** (you must use the same spelling when registering and when signing in)
- **Email address**
- **Mailing address**
- **Phone number** (for contact purposes in case there are technical difficulties during the hearing)
- **Your purpose for attending** (i.e., appellant, agent, neighbouring landowner in support of, or in opposition to, the application, etc.)

Deadline for registration is 4:30 P.M. on Friday August 5, 2022. Late registrations will not be accepted. Once registered, an email with detailed instructions will be sent to you within 48 hours of the scheduled hearing date and time.

2. MAKE YOUR PRESENTATION TO THE BOARD VIA CONFERENCE CALL

In order to participate via Conference Call, you must first register by email to appeals@foothillscourtyab.ca and include the following information:

- **Name of Applicant, Application, or File Number, and Date and Time of the Appeal Board Hearing(s) you are attending**
- **Your Name** (you must use the same spelling when registering and when signing in)
- **Email address**
- **Mailing address**
- **Phone number** (for contact purposes in case there are technical difficulties during the hearing)
- **Your purpose for attending** (i.e., appellant, agent, neighbouring landowner in support of, or in opposition to, the application, etc.)

Deadline for registration is 4:30 P.M. on Friday August 5, 2022. Late registrations will not be accepted. Once registered, an email with detailed instructions will be sent to you within 48 hours of the scheduled hearing date and time. Conference calls will only be accepted from those persons who have completed the Registration process.

3. MAKE YOUR PRESENTATION TO THE BOARD VIA EMAIL

Hearings will be live streamed and can be viewed via YouTube. Before and during the hearing, comments for the Board's consideration can be sent by way of email to appeals@foothillscountryab.ca. Please include the following information:

- **Name of Applicant, Application, or File Number, and Date and Time of the Appeal Board Hearing(s) you are making comment on**
- **Your Name** (you must use the same spelling when registering and when signing in)
- **Email address**
- **Mailing address**
- **Phone number** (for contact purposes in case there are technical difficulties during the hearing)
- **Your purpose for attending** (i.e., appellant, agent, neighbouring landowner in support of, or in opposition to, the application, etc.)

Emails must be received prior to the close of the hearing. Emails received after the hearing is closed will not be considered by the Board.

4. MAKE YOUR PRESENTATION TO THE BOARD VIA LETTER

If you are unable to participate electronically, you may submit a letter in advance of the appeal board hearing. Letters must be received a minimum of 2 days prior to the scheduled appeal hearing date. Letters can be submitted by email to appeals@foothillscountryab.ca, Fax (403) 652-7880, by regular mail to Foothills County, Box 5605 High River, Alberta T1V 1M7, or dropped off in the mailbox at the front door of the Foothills Administration Building. Letters must include the following information:

- **Name of Applicant, Application, or File Number, and Date and Time of the Appeal Board Hearing(s) you are making comment on**
- **Your Name** (you must use the same spelling when registering and when signing in)
- **Email address**
- **Mailing address**
- **Phone number** (for contact purposes in case there are technical difficulties during the hearing)
- **Your purpose for attending** (i.e., appellant, agent, neighbouring landowner in support of, or in opposition to, the application, etc.)

Letters must be received prior to the close of the hearing. Letters received after the hearing is closed will not be considered by the Board. **Please note that all submissions will be considered to be part of the file, which can be viewed by the public at any time.**

DEVELOPMENT APPEAL BOARD

Box 5605 High River, Alberta T1V 1M7
Phone: 403-652-2341 Fax: 403-652-7880
Appeals@FoothillsCountyAB.ca

July 26, 2022

«MailName»
«AddLine1»
«AddLine2» «AddLine3»
«City», «Prov» «Postal»

Dear Sir/Madam:

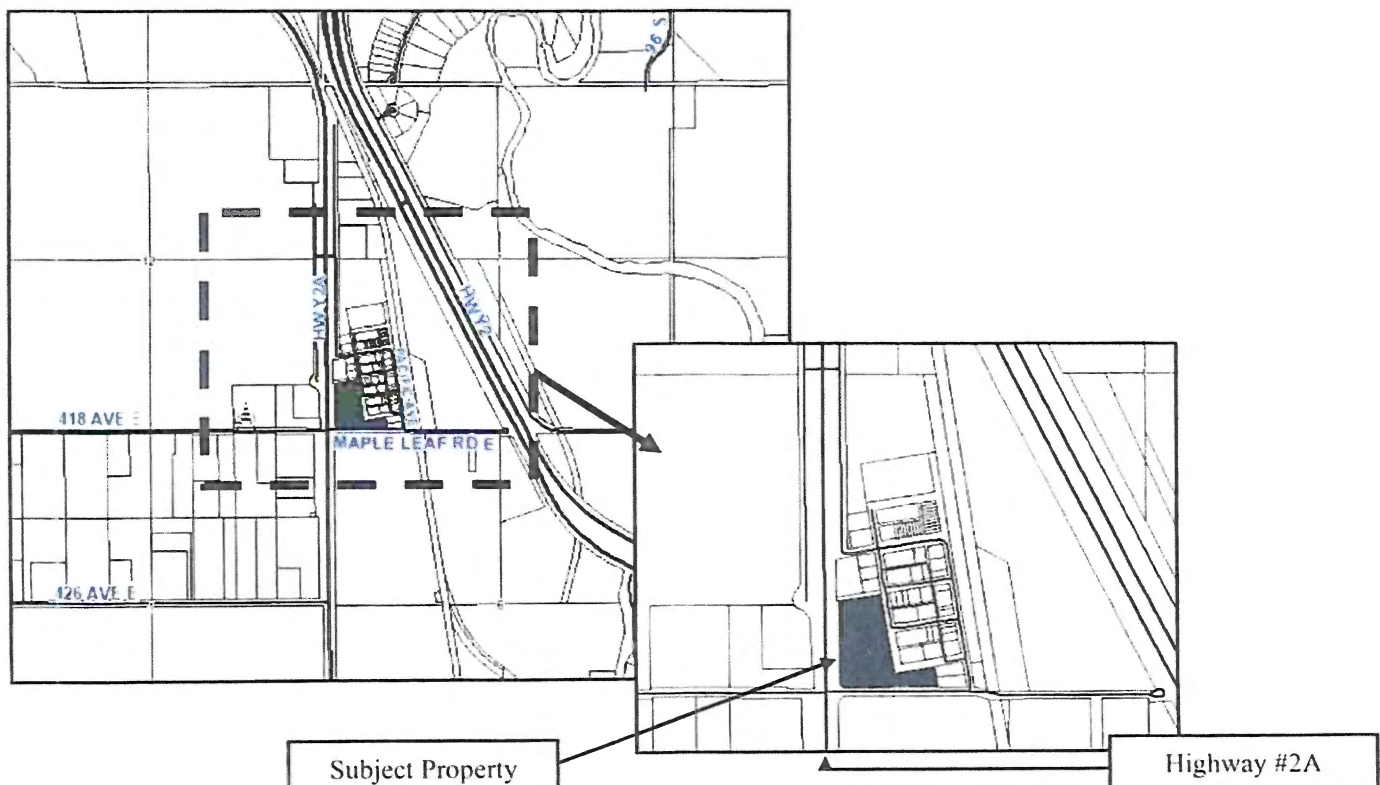
RE: Development Permit Application: 22D 092
Landowner/Applicant: Timber Tech-Truss Inc / David Thompson
Appellant: Christine Law
Legal: Plan 7811183, Block C, PTN. SW 07-20-28 W4M
Appeal against the APPROVAL of 22D 092 for Change in Intensity of Use/Addition to Building – Storage Compound & Industry, General

There has been an appeal against the above-noted application for the approval for Change in Intensity of Use/Addition to Building – Storage Compound & Industry, General. This appeal is scheduled to be heard by the Development Appeal Board on **Tuesday, August 9, 2022 at 12:30 p.m.**

In accordance with instructions from the Development Appeal Board we are notifying all landowners within one-half mile to the subject quarter section, of the hearing of appeals in order to give you an opportunity to make known any comments you have about the proposal.

In response to the current COVID-19 pandemic, Foothills County has implemented procedural changes; all appeal board hearings will now be conducted by way of electronic communications using the Zoom video conferencing platform. Your (or your agent's) participation remains a very important component of the Development Appeal Board hearing, so we have developed options for you to take part online via Zoom, by conference call, by email, or by submitting a letter. Appeal Board Hearings will also be live streamed on YouTube; you can access the link from our website at FoothillsCountyAB.ca.

IMPORTANT: To participate in a hearing **you must pre-register by 4:30 pm on Friday, August 5, 2022.** Please refer to the enclosed instruction sheet for details on how to register.



Yours truly,
FOOTHILLS COUNTY
Original Signed by ...

F. Fairweather

Felicia Fairweather
Development Appeal Board Clerk
FF/Encl.

Brenda Bartnik

From: Brenda Bartnik
Sent: July 12, 2022 2:00 PM
To: Dave Thompson
Cc: Derrill Murphy
Subject: Thank you for today's site visit
Attachments: Screening standards-FINAL APPROVED.pdf

Thank you for taking the time to show me around your site this morning.

A reminder of the following:

- The idea behind the design guidelines for commercial/industrial development within the Highway 2A Industrial Corridor is generally cohesive, sustainable development. When refinishing, repairing and/or replacing existing development, I encourage you to take a look at some of the items that are referred to within the County's Design Guidelines for the Corridor (found here: <https://www.foothillscountyab.ca/sites/default/files/2022-04/2021-03-H2AISP%20Design%20Guidelines-FINAL%20APPROVED%20%281%29.pdf>).
Some of the basic items the development design team normally looks for when reviewing applications are:
 - o Exterior finishing
 - complimentary finishes for all buildings on a site, the breaking up of long expanses of wall with the use of color blocking, varying material, etc.
 - Coloring man doors and overhead doors to match or complement a building versus plain white
 - The use of sunshine panels in overhead doors, or similar windows in second level storage mezzanines (kudos, as it appears that a set of these exists toward the west side/on the south face of the building), or clear roof ridge caps
 - Delineation of principal entryways to a building using canopies, basic overhangs, etc.
 - o Dark sky lighting (building and yard)
 - o Accessible parking stalls with post or fascia mounted signage
 - o Parking bumpers/jerseys to protect walkways, infrastructure, and buildings
 - o Secondary containment for fuel storage and recycling
 - o Another item I really liked seeing exist at your site was the picnic tables outside
- I have attached a copy of the screening standards so that you have it digitally

Be sure to let me know if you have any questions.

Brenda Bartnik
Planning & Development Officer
Foothills County
Direct line: (403) 603-6222
Brenda.bartnik@foothillscountyab.ca



FOOTHILLS COUNTY

309 Macleod Trail, Box 5605

High River, Alberta T1V 1M7

Phone: 403-652-2341

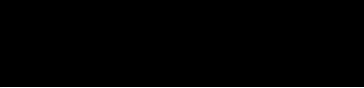
Fax: 403-652-7880

www.FoothillsCountyAB.ca

planning@foothillscountyab.ca

June 29, 2022

David Thompson
Timber-Tech Truss Inc.



COPY

Dear Mr. Thompson:

**Re: Development Permit 22D 092
Ptn: SW 07-20-28 W4M; Plan 7811183, Block C
Change in Intensity of Use/Addition to Building-Storage Compound & Industry General**

The above-noted permit has been approved subject to conditions (copy attached) and to an appeal period.

The County will advertise the approval of this permit in two issues of the Western Wheel and circulate to area landowners (according to County records at this time) within the subject quarter section and for one half mile surrounding. Notices for Development Permits are also posted on the Municipal website, www.mdfoothills.com.

Pursuant to Section 685(2) of the Municipal Government Act, a person affected by this decision has a right of appeal. Notices of Appeal, including payment of the appeal fee are to be received **no later than July 21, 2022**. Notices of Appeal received after the 21-day notification period will be invalid. If you choose to submit an appeal, please use the enclosed 'Notice of Development Appeal' form. We will notify you if we receive appeals from other persons.

The appeal fee will be returned 2 to 3 weeks after the appeal hearing, if there is record that the appellant or someone authorized to act on behalf of the appellant was in attendance at the time of the scheduled appeal hearing.

Should you have any questions, concerns, or require clarification on the appeal process, please contact the undersigned.

**NOTE: APPEAL SUBMISSION REQUIREMENTS ARE OUTLINED ON THE ENCLOSED
'NOTICE OF DEVELOPMENT APPEAL' FORM**

Yours truly,
FOOTHILLS COUNTY

Brenda Bartnik
Development Officer
brenda.bartnik@foothillscountyab.ca
(403) 603-6222

BB/de
Encl.

cc. Landowners – Timber Tech Truss Inc.



FOOTHILLS COUNTY

309 Macleod Trail, Box 5605
High River, Alberta T1V 1M7
Phone: 403-652-2341
Fax: 403-652-7880
www.FoothillsCountyAB.ca
planning@foothillscountyab.ca

June 29, 2022

«MailName»
«AddLine1»
«AddLine2» «AddLine3»
«City», «Prov» «Postal»

Dear Sir/Madam:

TAKE NOTICE that, in accordance with Land Use Bylaw No. 60/2014, a Development Permit has been approved subject to conditions (attached), for a parcel of land that is located within one half mile of your property. The details of the Development Permit are as follows:

Development Permit Application File#: 22D 092
Legal Description: SW 07-20-28 W4M; Plan 7811183, Block C
Description: Change in Intensity of Use/Addition to Building-Storage Compound & Industry, General
Applicant/Owner: David Thompson (Applicant) / Timber Tech Truss (Owner)
Location: Located on the northeast corner of Highway 2A & Maple Leaf Road

Pursuant to Section 685(2) of the Municipal Government Act, a person affected by this decision has a right of appeal. Notices of Appeal, including payment of the appeal fee are to be filed with the Subdivision and Development Appeal Board within 21 days from the date of the development officer decision (attached). Notices of Appeal and payment of the appeal fee are to be received **no later than July 21, 2022**. Notices of Appeal received after the 21-day notification period will be invalid.


You should not rely on Notices of Appeal filed by other persons as giving you the right to be heard at an appeal hearing, as only the appellant, applicant or authorized representative of either party is guaranteed the opportunity to be heard at an appeal hearing. If you choose to submit an appeal, please complete the enclosed '**Notice of Development Appeal**' form and return to the County by email at appeals@FoothillsCountyAB.ca or by fax at 403-652-7880.

The appeal fee will be returned 2 to 3 weeks after the appeal hearing if there is record that the appellant or someone authorized to act on behalf of the appellant was in attendance at the time of the scheduled appeal hearing.

Should you have any questions, concerns, or require clarification on the appeal process, please contact the undersigned.

**NOTE: APPEAL SUBMISSION REQUIREMENTS ARE OUTLINED ON THE ENCLOSED
'NOTICE OF DEVELOPMENT APPEAL' FORM**

Yours truly,
FOOTHILLS COUNTY

Original Signed By: 

Brenda Bartnik
Development Officer
brenda.bartnik@foothillscountyab.ca
(403) 603-6222

BB/de
Encl.

Alison Schori

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: February 6, 2025 1:45 PM
To: Rob Siewert
Cc: Brenda Bartnik
Subject: Circulation for Development Permit 25D 016
Attachments: 25D 016 TTT-Timber Tech Truss.pdf

Good afternoon,

Please find attached the circulation package for Development Permit 25D 016. This circulation is being provided to you for information purposes as the subject parcel is located within your Division.

Should you have any questions, please do not hesitate to contact **Planning and Development Department** at Planning@foothillscountyab.ca.

Regards,

Foothills County
Planning & Development

FC_Planning@foothillscountyab.ca
Foothills County, 309 Macleod Trail S. /Box 5605, High River, AB T1V 1M7
P. (403) 652-2341 | F. (403) 652-7880



w. www.foothillscountyab.ca

Alison Schori

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: February 6, 2025 1:45 PM
To: Kurtis Dyck; Will Scheerhoorn; Land Service; planning@okotoks.ca; Colton Nickel; planning@highriver.ca
Cc: Brenda Bartnik
Subject: Circulation for Development Permit 25D 016, Please reply by March 7, 2025
Attachments: 25D 016 TTT-Timber Tech Truss.pdf

Good afternoon,

Find attached our circulation for development permit 25D 016. Please review and respond **prior to March 7, 2025.**

Should you have any questions or comments, please direct them to our **Planning and Development Department** at Planning@foothillscountyab.ca.

Regards,

**Foothills County
Planning & Development**

FC_Planning@foothillscountyab.ca
Foothills County, 309 Macleod Trail S. /Box 5605, High River, AB T1V 1M7
P. (403) 652-2341 | F (403) 652-7880



W. www.foothillscountyab.ca

Alison Schori

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: February 6, 2025 1:45 PM
To: Dev PWRev
Cc: Brenda Bartnik
Subject: Circulation for Development Permit 25D 016, Please reply by March 7, 2025
Attachments: 25D 016 PW Form.pdf; 25D 016 TTT-Timber Tech Truss.pdf

Good afternoon,

Find attached our circulation for development permit 25D 016. Please review and respond **prior to March 7, 2025.**

Should you have any questions or comments, please direct them to our **Planning and Development Department** at Planning@foothillscountyab.ca.

Regards,

**Foothills County
Planning & Development**

FC_Planning@foothillscountyab.ca
Foothills County, 309 Macleod Trail S. /Box 5605, High River, AB T1V 1M7
P. (403) 652-2341 | F. (403) 652-7880



w. www.foothillscountyab.ca

DEVELOPMENT PERMIT CIRCULATION
MEMORANDUM

From: Foothills County
Box 5605 // 309 Macleod Trail
High River, AB T1V 1M7
planning@foothillscountyab.ca

File Number: 25D 016

Date: February 6, 2025

Landowner: Triple T Holdings Inc **Agent:** Timber Tech Truss LP

Legal: Plan 7811183, Block C

Description: Ptn: SW 07-20-28 W4M

Parcel Size: 8.28 Acres

Proposal: Industry, General; Storage Compound; Accessory Building

Enclosed is a copy of the plans for the above-mentioned development. We would appreciate receiving your comments on the proposal within 30 days of the date of this letter.

If you require further information or clarification, please contact the Development Department in High River at (403) 652-2341 by phone or through email using the below address. **Please quote our file name when returning your comments to the attention of our Development Department.** Thank you for your cooperation.

30 DAY CIRCULATION

Contact: Brenda Bartnik Brenda.Bartnik@foothillscountyab.ca

Application to be referred to:

Division Councillor	<u> X </u>	Economic Development	<u> </u>
Development Officer Site Insp.	<u> </u>	AB Comm. Development	<u> </u>
Alberta Health Services	<u> </u>	AB Energy Regulator	<u> </u>
Alberta Transportation	<u> X </u>	AB Agriculture & Forestry	<u> </u>
AB Environment	<u> </u>	AB Agriculture, Sustainable Resource	<u> </u>
Public Works	<u> X </u>		
Building & Safety Codes	<u> X </u>	AB Agriculture, Public Lands Div.	<u> </u>
Municipal Fire Services	<u> X </u>	Fortis Alberta	<u> X </u>
Municipal Addressing	<u> </u>	ATCO Gas	<u> </u>
Municipal Community Services	<u> </u>	AltaLink	<u> </u>
AFICA	<u> </u>	Other: Okotoks	<u> </u>
Erin Frey (HR Airport only)	<u> </u>	High River	<u> </u>

Notes: _____

Brenda Bartnik

From: Will Scheerhoorn
Sent: February 12, 2025 10:57 AM
To: Brenda Bartnik
Subject: 25D 016
Attachments: 25D 016 Timber Tech Truss.pdf

Hey Brenda,
Attached is the Development Review for 25D 016.
Timber Teck receives a Semi-Annual fire inspection. They met fire code compliance at there last inspection (2023) and are due for inspection again in 2025.

Let me know if you require anything further.

Regards,
Will



Will Scheerhoorn
Battalion Chief – SCO Fire
309 Macleod Trail | Box 5605
High River | Alberta | T1V 1M7
Direct: 403.603.3576 | Cell: [REDACTED]



Development Permit Review

Reviewed By: Will Scheerhoorn

File Number: 25D 016

Date of Review: February 12, 2025

Landowner: Triple T Holdings

Agent: Timber Tech Truss LP

Tax Roll: 2028072580

Proposal: Accessory Building

Development Officer: Brenda Bartnik

Review and Suggestions

- Address of property is to be posted.
- Ensure access for Fire department apparatus as per the National Fire Code 2023 Div. B Sec 2.5.1
- Fire extinguishers are to be installed as per the National Fire Code 2023 Div. B Sec. 2.1.5 and NFPA 10.
- Fire Safety Plan is to be posted as per the National Fire Code 2023 Div. B Sec. 2.8.2.
- Emergency & Exit Lighting shall be Tested, Inspected and Maintained as per National Fire Code 2023 Div. B Sec. 2.7.3.

Fire inspection of building required once completed

Will Scheerhoorn

Fire Inspector - Foothills Fire Department

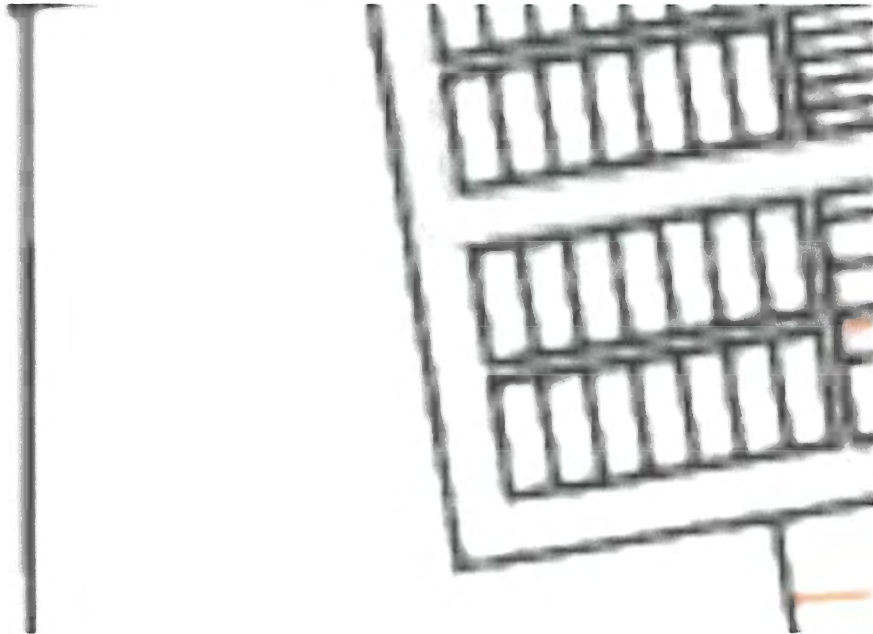
(Ph) 403-603-3576

Will.scheerhoorn@foothillscountyab.ca

Transportation and Economic Corridors Notice of Referral Decision

Municipal Development in Proximity of a Provincial Highway

Municipality File Number:	25D 016	Highway(s):	2A, 25305
Legal Land Location:	QS-SW SEC-07 TWP-020 RGE-28 MER-4	Municipality:	Foothills County
Decision By:	Trevor Richelhof	Issuing Office:	Southern Region / Calgary
Issued Date:	February 25, 2025	AT Reference #:	RPATH0048631
Description of Development: Industry General; Storage compound & Accessory Building			



This will acknowledge receipt of your circulation regarding the above noted proposal. Transportation and Economic Corridors primary concern is protecting the safe and effective operation of provincial highway infrastructure, and planning for the future needs of the highway network in proximity to the proposed development(s).

Transportation and Economic Corridors offers the following comments and observations with respect to the proposed development(s):

- Pursuant to Section 618.3(1) of the Municipal Government Act (MGA), the department expects that the municipality will comply with any applicable items related to provincial highways in an ALSA plan if applicable
- Pursuant to 618.4(1) of the Municipal Government Act, the department expects that the Municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, in accordance with Policy 7 of the Provincial Land Use Policies.

Transportation and Economic Corridors has the following additional comments and/or requirements with respect to this proposal:

1. The applicant is advised that any development within the highway right-of-way or within 300 metres beyond the limit of a controlled highway or within 800 metres from the center point of an intersection of the highway and another highway would require a permit from Transportation and Economic Corridors. This requirement is outlined in the Highways Development and Protection Regulation. The subject property is within the noted permit area and, as such, any development would require the said permit. To ensure that any future highway expansion plans are not unduly compromised, minimum setbacks would be identified and stipulated as a condition of approval such that an adequate buffer would be maintained alongside the highway and any other highway related issues could be appropriately addressed.

Please contact Transportation and Economic Corridors through the [RPATH Portal](#) if you have any questions, or require additional information



Issued by **Trevor Richelhof, Development & Planning Tech**, on **February 25, 2025** on behalf of the Minister of Transportation and Economic Corridors pursuant to *Ministerial Order 52/20 – Department of Transportation Delegation of Authority*

Alison Schori

From: Government of Alberta <services@gov.ab.ca>
Sent: February 6, 2025 1:46 PM
To: Brenda Bartnik; FC_Planning
Subject: DO NOT REPLY – RPATH Submission RPATH0048631 Municipal Referral - Development 25D 016

This email will acknowledge receipt of your submission RPATH0048631 for Municipal Referral - Development submitted on 2025-02-06 13:45:10 MST.

Alberta Transportation staff will review your submission, and will advise you through the Roadside Planning Application Tracking Hub (RPATH) Portal if additional information is required.

Updates will be provided throughout the process via the RPATH portal.

You will be notified via email when a decision is made regarding your application, at which time you will be able to download any relevant documentation.

Please contact Alberta Transportation through the RPATH Portal [RPATH0048631](#) with any questions.

[Unsubscribe](#) | [Notification Preferences](#)

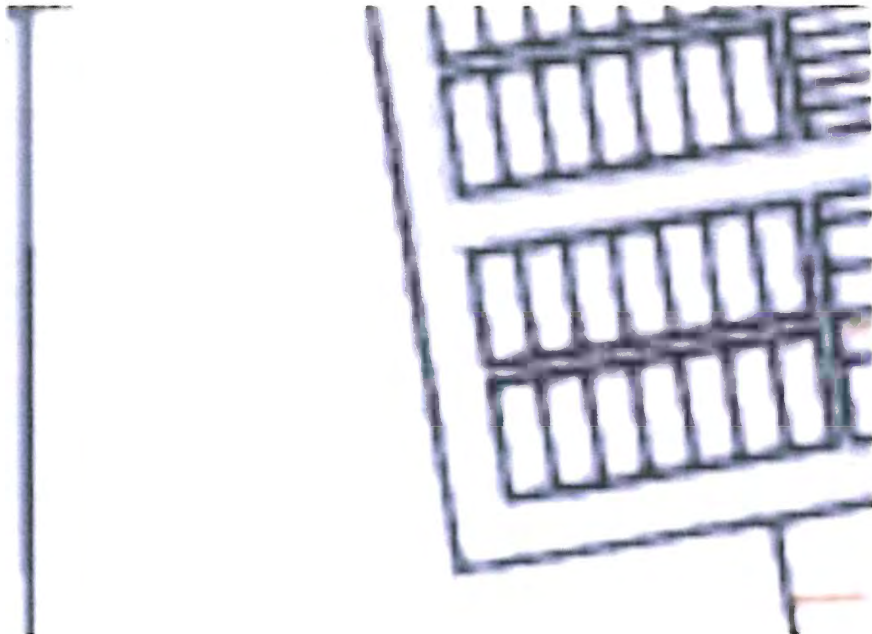
Ref:MSG26146049_KLgTnYOR5W4ugjUmGlt

[EXTERNAL EMAIL] This email has originated from outside of the Foothills County organization. Do not click on any links or open any attachments unless you recognize the senders Name and Email address.

Transportation and Economic Corridors Notice of Referral Decision

Municipal Development in Proximity of a Provincial Highway

Municipality File Number:	25D 016	Highway(s):	2A, 25305
Legal Land Location:	QS-SW SEC-07 TWP-020 RGE-28 MER-4	Municipality:	Foothills County
Decision By:	Trevor Richelhof	Issuing Office:	Southern Region / Calgary
Issued Date:	February 25, 2025	AT Reference #:	RPATH0048631
Description of Development: Industry General; Storage compound & Accessory Building			



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- Pursuant to Section 618.3(1) of the Municipal Government Act (MGA), the department expects that the municipality will comply with any applicable items related to provincial highways in an ALSA plan if applicable
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Transportation and Economic Corridors has the following additional comments and/or requirements with respect to this proposal:

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Please contact Transportation and Economic Corridors through the [RPATH Portal](#) if you have any questions, or require additional information

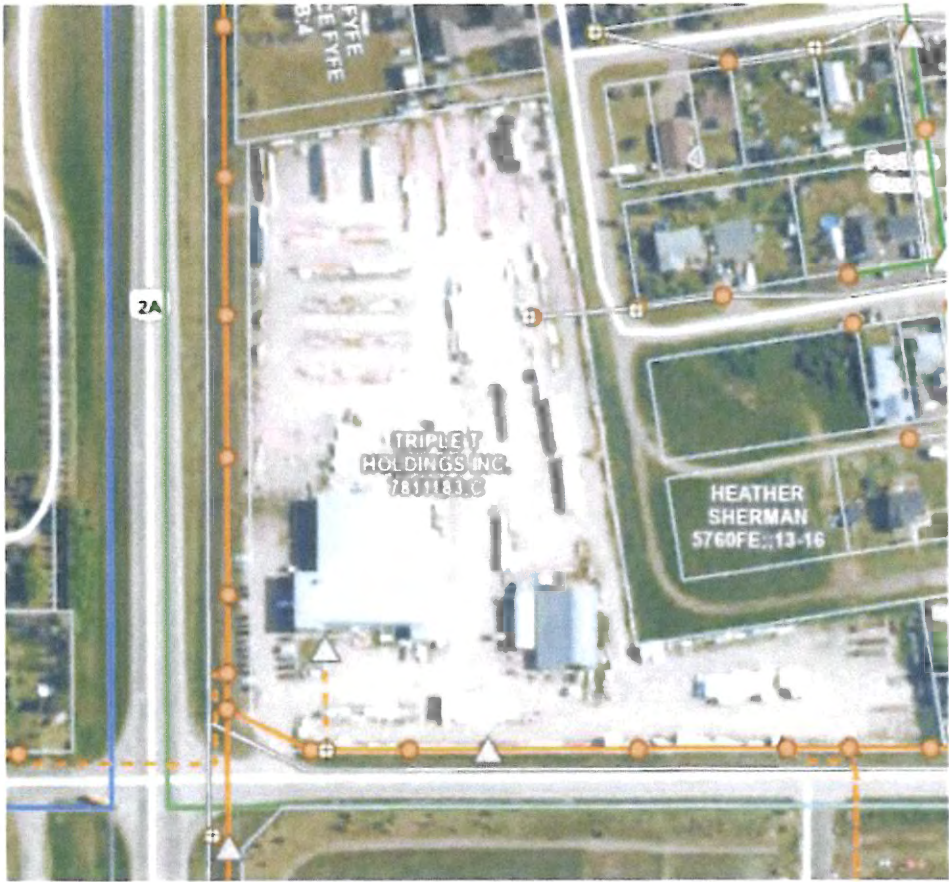


Issued by **Trevor Richelhof, Development & Planning Tech**, on **February 25, 2025** on behalf of the Minister of Transportation and Economic Corridors pursuant to *Ministerial Order 52/20 – Department of Transportation Delegation of Authority*

Alison Schori

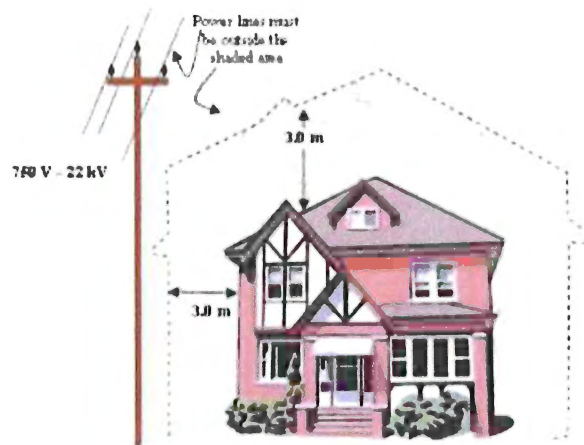
From: Tracy Davidson <tracy.davidson@fortisalberta.com> on behalf of Land Service <landserv@fortisalberta.com>
Sent: February 18, 2025 9:42 AM
To: FC_Planning
Subject: FW: [CAUTION] Circulation for Development Permit 25D 016, Please reply by March 7, 2025
Attachments: 25D 016 TTT-Timber Tech Truss.pdf; Structures near power lines.pdf

Good morning,
FortisAlberta Inc. has no concerns regarding this development permit application. Attached is some additional information about safety setbacks for installations near overhead powerlines that can be provided to the applicant.



Thank you,

Tracy Davidson | Land Coordinator
FortisAlberta Inc. | 100 Chippewa Road, Sherwood Park, AB, T8A 4H4 | Direct 780-464-8815



Attention: Designers, Developers, Builders and Building Owners

Minimum clearance requirements between overhead lines and other structures are in place for your protection and safety.

- Regulations require minimum horizontal and vertical clearances between overhead lines and other structures.
- Clearance requirements vary depending on the voltage of the power line. For example, a power line operating at between 750 and 22,000 Volts requires:
 - A vertical clearance of 3.0 metres; and
 - A horizontal clearance of 3.0 metres.

See the diagram above and the table inside the brochure for more information

Contact your Electric Power Company before developing your property.

This will reduce the likelihood of shock or electrocution. It will also help you avoid having to move a structure or paying for the relocation of a power line.

Alberta's Safety System

Alberta Municipal Affairs works in partnership with the Safety Codes Council, municipalities, corporations, agencies, and other organizations to deliver effective community-focused public safety programs and services to Albertans.

Questions or more information:

Alberta Municipal Affairs

Safety Services Branch
16th Floor, Commerce Place
10155 - 102 Street
Edmonton, Alberta T5J 4L4

Phone toll-free: 1-866-421-6929

Fax: 780-427-8686

E-mail: safety.services@gov.ab.ca

www.municipalaffairs.alberta.ca

Safety Codes Council

Suite 1000, 10665 - Jasper Avenue
Edmonton, Alberta T5J 3S9

Toll-free within Alberta:

Phone: 1-888-413-0099

Fax: 1-888-424-5134

www.safetycodes.ab.ca

Please place your agency or municipality contact information in the space below.

These brochures may be updated periodically. They have no legal status and cannot be used as an official interpretation of the various bylaws, codes and regulations currently in effect.

January 2009

ISBN: 978-0-7785-7093-6

Safety Tips

Structures near power lines

A potentially dangerous combination

Failing to consider the proximity of a structure to power lines poses significant safety risks with potentially fatal consequences.

If you don't consider this proximity, you may also be faced with a costly relocation of either the structure or power line, because the distance between them was not thoroughly assessed during the planning stages.

The Alberta Electrical Utility Code has mandatory requirements for clearances between power lines and structures such as the following:

- signs;
- billboards;
- light standards;
- traffic signs;
- antennas;
- satellite dishes; or
- buildings, such as houses, apartments, and commercial or farm buildings.

Alberta

Safety Codes Council

Structures near power lines

Excerpt from the Alberta Electrical Utility Code

Table 9 ~ Minimum Design Clearances from Wires and Conductors Not Attached to Buildings, Signs, and Similar Plant (all similar situations) - See Clauses 5.7.3.1 and 5.7.3.3

Wire or Conductor		Minimum clearances, in metres, from wire to			
		Buildings ^{*†}	Signs, billboards, lamp and traffic sign standards, and similar plant		
Guys, communication cables, and drop wires		Horizontal to surface [‡]	Vertical to surface	Horizontal to object [‡]	Vertical to object
		0	0.08	0	0.08
Supply conductors					
0 to 750 V	Insulated or grounded	1.0	2.5 [§]	0.3	0.5
	Enclosed in effectively grounded metallic sheath	0	0	0	0.08
0 to 750 V	Neither insulated nor grounded, nor enclosed in effectively grounded metallic sheath	1.0	2.5 [§]	1.0	0.5
Over 0.75 to 22 kV	Not enclosed in effectively grounded metallic sheath	3.0 ^{§§}	3.0 ^{**}	3.0	2.5
	Enclosed in effectively grounded metallic sheath	0	0	0	0.08
Over 22 kV ^{***††}		3.0 plus 0.01 m/kV over 22 kV	3.6 plus 0.01 m/kV over 22 kV	3.0 plus 0.01 m/kV over 22 kV	3.6 plus 0.01 m/kV over 22 kV

Notes to the table

References to other tables and clauses refer to the Alberta Electrical Utility Code

* Clearances over or adjacent to portions of a building normally traversed by pedestrians or vehicles are covered by Tables 2 and 3.

† The tabulated clearances are applicable to nonmetallic buildings or buildings whose metallic parts are effectively grounded. Otherwise, a study to determine suitable greater clearances may be necessary, due to electrostatic induction (see clause 54.7.3.3).

‡ To these values the conductor swing must be added, in accordance with clause 5.7.3.1.

§ This clearance may be reduced to 1 m for portions of the building considered normally inaccessible.

** Carrying conductors of these voltage classes over buildings should be avoided if other suitable construction can be carried out.

†† Where it appears necessary to carry conductors of these voltage classes over buildings, additional measures should be investigated, including increased clearances, to ensure that safe and suitable use can be made of the building crossed over.

§§ This value may be reduced to 1.5 m when windows that can be opened, fire escapes and balconies are not present on the building adjacent to the conductor.



PLANNING & DEVELOPMENT CIRCULATION
PUBLIC WORKS DEPARTMENT – CIRCULATION RESPONSE

FILE NUMBER: 25D 016	LANDOWNER: Triple T Holdings Inc.
FILE MANAGER: Brenda Bartnik	AGENT: Timber Tech Truss
CURRENT LAND USE: Hamlet Industry	PROPOSED LAND USE: Same
LEGAL DESCRIPTION: Plan 7811183, Block C	
MUNICIPAL ADDRESS: 80008 Maple Leaf Road East	
ROLL NUMBER: 2028072580	
DATE REFERRED: February 6, 2025	
PROPOSAL: Industry, General; Storage Compound; Accessory Building	

PROPOSAL INFORMATION:

Development Permit

☐ Internal Road Proposed:

☐ Construction on Road Allowance Proposed:

☐ Approaches exist on:

☐ Other:

Information pertaining to roads on side of the subject lands:

Servicing Comments or Review required:

☐ Other:

☐ Road Widening -

OTHER COMMENTS:

Provide any comment regarding the proposed fencing/screening for the storage yard.

PUBLIC WORKS RECOMMENDATIONS:

SUGGESTED CONDITIONS FOR CONSIDERATION:	<input type="checkbox"/> Proposed	<input type="checkbox"/> Balance
<input type="radio"/> Geotechnical Report for Slope Stability	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> High Water Table Testing for Foundation Design:	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Septic Disposal Evaluation (PSTS)	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Stormwater Management Plan	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Lot Grading/Overland Drainage Plan	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Flood Plain Report (1 in 100 years)	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Overland Drainage Easement	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Building Envelopes	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Traffic Impact Assessment (TIA)	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Environmental Site Assessment (Phase1 / Phase2)	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development
<input type="radio"/> Other: _____	<input type="checkbox"/> Redes/Amend	<input type="checkbox"/> Subdivision <input type="checkbox"/> Development

ADDITIONAL ROAD WIDENING REQUIRED:

☒ No ☐ Caveat ☐ Survey Out

Amount _____m Location of Widening Required: ☐ N ☐ E ☐ S ☐ W

Other: _____

☒ No ☐ Caveat ☐ Survey Out

Amount _____m Location of Widening Required: ☐ N ☐ E ☐ S ☐ W

Other: _____

See reverse side.....

Number of new approaches and/or existing approaches requiring upgrades: N/A

Recommendations: No changes to access proposed or required

The proposed new building is only 66 sq feet larger than what the existing building with previously proposed addition would have been. Therefore, comments are similar to previous file. The proposed is to be located in approximately same location -the area is already flat with no grading required, other than to ensure positive drainage from the building. No concerns with the setback to the undeveloped hamlet roads.

In terms of the proposed fencing, plans show the screened areas in existing fence locations, no concerns with these. Sightlines at the intersection will not be impacted. For the sections of vertical wood fence, ensure there is sufficient distance from ground to boards such that drainage will not be impacted.

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Road comments and requirements: _____

☐ Yes* ☒ No

***If Yes – Number of Pages:** _____

Date Reviewed: March 7 2025

Reviewer: Patrick Antle

Signature: Peter Att

SW 7-20-28 W4M; Plan 7811183, Block C



- Legend
- Townships
 - Hamlet
 - Parcels

Date Printed: 2025-01-23

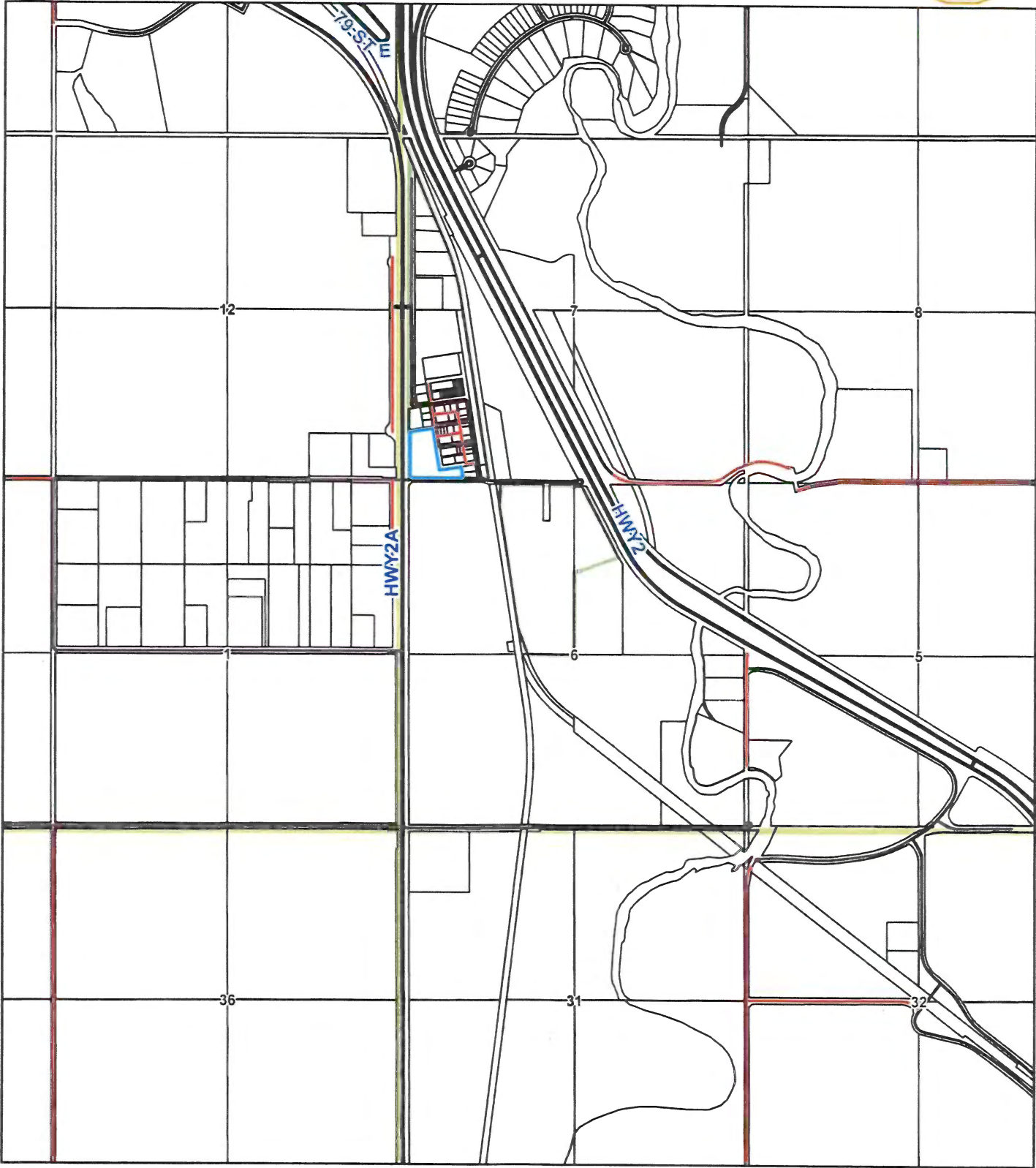
1:1,500

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Document Path: C:\prj\PlanningData\WDF_Planning.mxd

SW 7-20-28 W4M; Plan 7811183, Block C



- Legend
- Townships
 - Hamlet
 - Parcels

Date Printed: 2025-01-23
1:25,000

Document Path: C:\prj\PlanningData\WDF_Planning.mxd

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Data Sources include Municipal Records and AltaLIS
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LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0025 825 374	7811183:C	181 061 173

LEGAL DESCRIPTION

PLAN 7811183

BLOCK C

EXCEPTING THEREOUT:

HECTARES (ACRES) MORE OR LESS

A) PLAN 9312484 ROAD

0.005 0.01

EXCEPTING THEREOUT ALL MINES AND MINERALS

ATS REFERENCE: 4:28:20:7:SW

ESTATE: FEE SIMPLE

MUNICIPALITY: FOOTHILLS COUNTY

REFERENCE NUMBER: 031 068 817 +2

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION

181 061 173	20/03/2018	TRANSFER OF LAND	\$2,690,000	\$2,690,000

OWNERS

TRIPLE T HOLDINGS INC.

(DATA UPDATED BY: CHANGE OF NAME 241070705)

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS
731 080 391	07/12/1973	CAVEAT RE : DEFERRED RESERVE CAVEATOR - THE CALGARY REGIONAL PLANNING COMMISSION.
211 076 424	15/04/2021	CAVEAT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

181 061 173

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

RE : UTILITY RIGHT OF WAY
CAVEATOR - FORTISALBERTA INC.
320-17 AVE SW
CALGARY
ALBERTA T2S2V1
AGENT - MSL LAND SERVICES LTD.

241 024 655 23/01/2024 CAVEAT

RE : LEASE INTEREST
CAVEATOR - TIMBER-TECH TRUSS GP INC.
ATTENTION:CHRIS HAHN
MLT AIKINS LLP
2100,222-3RD AVENUE SW
CALGARY
ALBERTA T2P0B4
AGENT - CHRIS HAHN

241 024 656 23/01/2024 CAVEAT

RE : RIGHT OF FIRST REFUSAL
CAVEATOR - TIMBER-TECH TRUSS GP INC.
ATTENTION:CHRIS HAHN
MLT AIKINS LLP
2100,222-3RD AVENUE SW
CALGARY
ALBERTA T2P0B4
AGENT - CHRIS HAHN

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 23 DAY OF
JANUARY, 2025 AT 10:11 A.M.

ORDER NUMBER: 52679461

CUSTOMER FILE NUMBER: AS_Planning



END OF CERTIFICATE

(CONTINUED)

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