


**MISCELLANEOUS PLANNING ITEM  
PLANNING AND DEVELOPMENT REPORT TO COUNCIL  
DEVELOPMENT PERMIT APPLICATION  
June 11, 2025**

APPLICATION INFORMATION		FILE NO. 25D 111
	<b>DATE APPLICATION DEEMED COMPLETE:</b> May 20, 2025	
	<b>LEGAL DESCRIPTION:</b> SE 32-19-29 W4	
	<b>LANDOWNER:</b> Foothills Regional Landfill	
	<b>APPLICANT:</b> Geoff Kallweit of Read Jones Christoffersen Ltd.	
<b>PROPOSAL:</b> A +/- 16,963 sq. ft. building to serve as the new Maintenance Services Facility at The Foothills Regional Landfill & Resource Recovery Centre (LRRC)		
<b>DIVISION NO:</b> 2		<b>REEVE:</b> Delilah Miller
<b>FILE MANAGER:</b> Brittany Smith		

**EXECUTIVE SUMMARY:**

**Location of Subject Lands:**

The subject 158.98 acre parcel is located approximately three miles south of the Town of Okotoks, adjacent to the west side of Highway #783, and approximately one mile to the north of the intersection of Highway #783 and 466 Avenue East.

**Summary of Proposal:**

This application requests approval for the construction of a new +/- 16.963 sq. ft. building to be used as the new Maintenance Services Facility for the Foothills Regional Landfill & Resource Recovery Centre.

**Background:**

The Foothills Regional Landfill & Resource Recovery Centre (LRRC) serves the nearby Towns of Okotoks, High River, Nanton, Diamond Valley, and the surrounding Foothills County. The facility is owned and operated by the Foothills Regional Services Commission (FRSC). Currently, the LRRC operates, in addition to its capacity as a landfill, as a waste diversion operation, with recycling, composting and hazardous material disposal operations onsite. The site is primarily occupied by landfill cells, soil stockpiles, wastewater ponds, tire shred stockpiles, a composting pad and a waste drop off area. Supporting facilities also present onsite in the form of an administration building, weigh scale, equipment storage and maintenance buildings, and fuel storage. In addition to landfill and waste drop off facilities, there is a thrift store present onsite run by the Foothills Salvage and Recycling Society (FSRS).

**Policy Evaluation**

The property does not fall within the plan area of an Intermunicipal Development Plan, Area Structure Plan, or Outline Plan. The subject parcel is zoned as Direct Control District #28 (DC#28) under the County's current Land Use Bylaw 60/2014. A copy of DC#28 is included under Appendix B of this report.



## PURPOSE OF APPLICATION:

*As Council is the Development Approving Authority for Direct Control District lands, they may decide on a Development Permit application or may delegate the Authority with directions that Council considers appropriate.*

*Council may also require a Public Meeting prior to deciding on any application within the Direct Control District.*

## **Proposal**

The application requests Council's review and approval of a new +/- 16,963 sq. ft. building to be used as the new Maintenance Services Facility for the Foothills Regional Landfill & Resource Recovery Centre (LRRC).

The new building would consist of an employee support area (i.e. changerooms, washrooms, lunchroom and flex area) and a 5-bay shop area with tool storage, which is to include an exterior wash bay.

This new facility would support both current and long-term needs and would replace the existing 3,000 sq. ft. LRRC Equipment Storage and Maintenance Building. The existing building contains a 3-vehicle-bay shop, lunchroom, washrooms, tool storage and an ad-hoc locker room.

The reason for the proposed new building is primarily the result of the existing building operating over capacity in support areas and the main shop space, which has insufficient space for the required scope of work to be done indoors. Once the new facility is constructed, the existing building will be used for storage of the LRRC's water trucks.



The locations of the proposed new facility and the existing facility are shown on the Ortho Map, which is included in Appendix A.



Water: A new underground water tank with pumped water service will be provided for the proposed building. The water entry will be in a service space with adequate clearance for the water distribution components such as pumps and pressure tanks. A new Canadian Standards Association (CSA)-approved reduced pressure backflow preventer will be added to meet current code requirements.

Wastewater: A new sanitary underground hold tank with pump out service will be provided for the new building.

Number of Staff: The maintenance department consists of approximately 15 people, with 11-12 staff typically onsite.

Access, Site Circulation and Parking:

Existing access to the site is directly from Highway #783.

Existing circulation starts with an access point off the main roadway, East of the site, and bypasses the existing workshop, storage, administrative and the Foothills Salvage and Recycling Society's (FSRS) buildings. There are two main loops in the site for vehicles to access other areas in the site. The area in front of the proposed new building is dominated by a weigh scale, for weighing trucks as they are processed onsite.

It is proposed that the new building have an East-West orientation. A drive loop would be added around the perimeter of the proposed building to facilitate access to all sides, in addition to fulfilling the requirement for drive-through shop spaces. In addition to allowing for an efficient drive-through layout, the East-West orientation is minimally invasive to the existing weigh scale location and keeps the building clear of any major circulation paths throughout the site.

The parking area is proposed adjacent to the east side of the new building and can accommodate the 12 staff vehicles.

Setbacks:

The proposed building is identified to comply with the required setbacks as per Direct Control District #28.

Grading and Drainage:

The area for the proposed building will be cleared of vegetation, including removal of existing trees, and stripped of topsoil. The site will then be graded to level the building. The existing vegetation/trees will not be replaced.

Dust suppression is a normal part of the LRRC's daily operations.

The LRRC intends to eventually place asphalt or pavement on the access road to the new Maintenance Services Facility building.

Drainage would connect into the existing run off control system utilized at the LRRC.

Lighting: LED lighting will be used for the exterior of the building.

*Note: The detailed plans as submitted by the applicant have been included under Appendix C of this staff report.*



## POLICY EVALUATION:

### Land Use Bylaw 60/2014 (LUB)

#### **Direct Control District #28 (DC#28)**

The purpose and intent of this district is to allow for the operation of the Waste Management Facilities within Foothills County and to allow for the Direct Control by Council over development on lands zoned DC#28.

The proposed new +/- 16.963 sq. ft. Maintenance Services Facility building would be considered an Accessory Use to the primary use approved for the site, which is a Discretionary Use under DC#28.

#### 18.28.3 DISCRETIONARY USES

*Accessory Buildings requiring a development permit*

*Accessory Uses (only to the primary use approved for the site)*

## 2.5 DEFINITIONS

ACCESSORY BUILDING, DETACHED means a detached building naturally or normally incidental, subordinate and exclusively devoted to the principal building on the lot, and located on the same lot as the principal building.

ACCESSORY USE means a use that is naturally or normally incidental, subordinate and exclusively devoted to the uses approved on the land located on the same lot as the principal use.

## CIRCULATION REFERRALS

REFEREE	COMMENTS
<b>INTERNAL</b>	
Public Works	The applicant submitted a Lot Grading and Site Drainage Plan. This plan has been reviewed and accepted.  Public Works has no other comments or concerns.
Municipal Fire	The municipal fire inspector provided the following comments: <ul style="list-style-type: none"><li>• Address of the property is to be posted</li><li>• Ensure access for Fire Department apparatus as per the National Fire Code 2023 Div B Sec 2.5.1</li><li>• Fire extinguishers to be installed as per the National Fire Code 2023 Div B Sec 2.1.5 and NFPA 10.</li><li>• Fire Safety Plan is to be posted as per the National Fire Code 2023 Div B Sec. 2.8.2</li><li>• Doors and means of egress as per the National Fire Code 2023 Div B Sec 2.7.1</li><li>• Emergency &amp; Exit Lighting shall be tested, Inspected and maintained as per National Fire Code 2023 Div. B Sec 2.7.3</li><li>• If National Building Code requires adequate water for firefighting the water source including the dry hydrant must meet NFPA 1142</li><li>• Fire Inspection of building is required once completed.</li></ul>



## CIRCULATION REFERRALS

<b>EXTERNAL</b>	
Alberta Transportation & Economic Corridors (ATEC)	The applicant applied for and obtained Roadside Development Permit Number 2024-0042634 from ATEC.
<b>PUBLIC</b>	Public notification/referral does not occur with respect to Development Permits on Direct Control District lands unless Council's review of the application involves a Public Meeting.

### SUMMARY

The application before Council is for a development permit to allow for the construction of a +/- 16.963 sq. ft. building to be used as the new Maintenance Services Facility for the Foothills Regional Landfill & Resource Recovery Centre.

### OPTIONS FOR COUNCIL CONSIDERATION:

#### OPTION #1 – APPROVAL

The suggested motion for Option #1 is as follows:

*Moved that Development Permit 25D 111 to allow for the construction of a +/- 16.963 sq. ft. building to be used as the new Maintenance Services Facility for the Foothills Regional Landfill & Resource Recovery Centre on a portion of SE 32-19-29 W4 be approved as follows:*

*Council is requested to provide direction as to if they wish to delegate authority to the Development Officer to review and accept completion of conditions for this permit.*

### APPROVAL DESCRIPTION

This approval allows for the construction of a +/- 16.963 sq. ft. building to be used as the new Maintenance Services Facility for the Foothills Regional Landfill & Resource Recovery Centre, on a portion of SE 32-19-29 W4, in accordance with the application for Development Permit and the plans as accepted by the Development Authority to be appropriate, subject to the following conditions:

### SUGGESTED CONDITIONS OF APPROVAL FOR COUNCIL'S CONSIDERATION

*Council may wish to impose any of the following conditions or any additional or revised conditions.*

### CONDITIONS OF APPROVAL

The following requirements must be completed within the twenty-four (24) month completion period for this Development Permit unless a time extension is issued under agreement between the Development Authority and the Applicant(s). Failure to complete the conditions of approval will see the Development Permit deemed null and void.



1. The development shall be executed in accordance with all conditions of approval and plans that have been acknowledged by the County to be appropriate;
2. All necessary building permits, safety code permits and inspections shall be obtained from Foothills County;
3. The applicant shall contact the County's Fire Inspector and obtain all necessary approvals and inspections prior to occupancy; and
4. The applicant shall provide written notification to the File Manager upon completion of the development as approved herein.

### **ADVISORY CONDITIONS**

The following requirements are provided by Foothills County to inform the applicant(s) and landowner(s) of their necessity and do not form part of the approval description or conditions of approval. It is the sole responsibility and liability of the applicant(s)/landowner(s) to ensure adherence with these requirements.

1. The development shall be maintained in accordance with all conditions of approval and plans as submitted to and acknowledged or approved by Council.
2. Development shall comply with the requirements of the applicable Building, Safety, and Fire Codes at all times;
3. The issuance of a development permit by Foothills County does not relieve the applicants of the responsibility of complying with all other applicable municipal bylaws and requirements, the requirements of all applicable Federal and/or Provincial acts regulations and/or guidelines;
4. Development shall comply with the requirements as outlined in Roadside Development Permit Number 2024-0042634, to the satisfaction of Alberta Transportation and Economic Corridors;
5. The applicant indemnifies and hold harmless the County against the cost of any claims or actions, or awards for loss or damage to the Owner(s) arising from the development of and use of the subject property; and
6. The applicant shall be responsible for payment of any professional costs including legal fees that may be incurred by the County with respect to this permit.

### **OPTION #2 POSTPONE A DECISION ON THE APPLICATION**

Should Council have concerns regarding certain aspects of the application or feel that they require additional information in order to render a decision, Council may choose to postpone a decision on the application in order to obtain additional information from the applicant.

**The suggested motion for Option #2 is as follows:**

*Moved that Council postpone making a decision on Development Permit application 25D 111 until such time as the applicant has provided (the requested information) for Council's consideration.*



## **APPENDICES**

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### **APPENDIX A: MAP SET**

LOCATION MAP

ORTHO MAP

HALF MILE LAND USES MAP

### **APPENDIX B:**

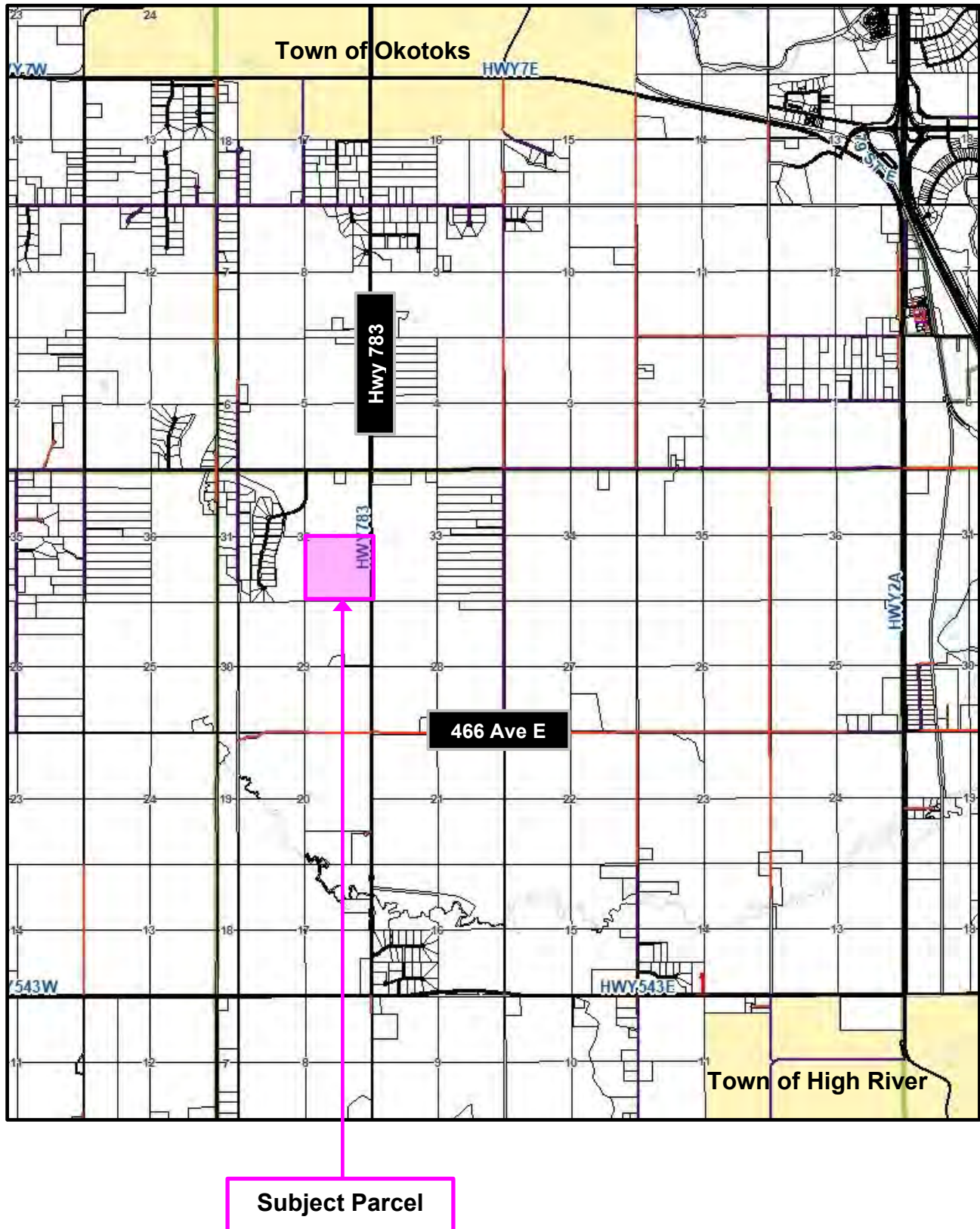
DIRECT CONTROL DISTRICT #28

### **APPENDIX C:**

SUBMITTED PLANS



## APPENDIX A: LOCATION MAP





## APPENDIX A: ORTHO MAP

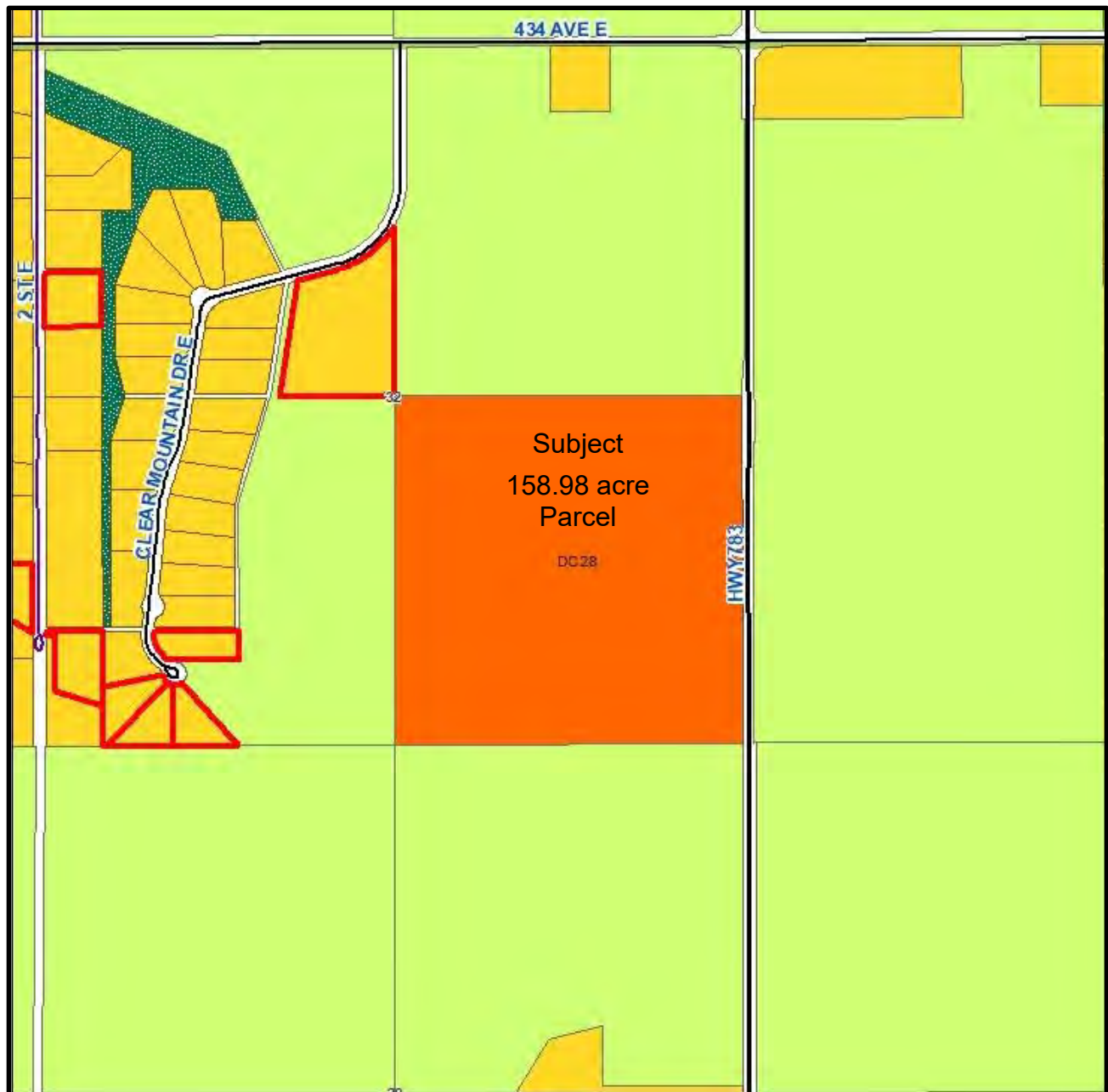
Approximate Location of  
Proposed Development

Location of Existing  
Maintenance Services Facility





## APPENDIX A: HALF MILE LAND USES MAP



### Legend

- Townships
- Parcels
- A- Agricultural
- CR- Country Residential
- CRA- Country Residential Sub A
- DC - Direct Control
- ER- Environmental Reserve



**Foothills County Land Use Bylaw |****18.28 DIRECT CONTROL DISTRICT #28 (DC 28)  
WASTE MANAGEMENT FACILITIES****DC #28****18.28.1 PURPOSE AND INTENT**

To allow the operation of the Waste Management Facilities within the Municipal District of Foothills and to allow for the Direct Control by Council over development on the following lands:

SE 32-19-29-W4 FOOTHILLS REGIONAL LANDFILL (158.5 ACRES)  
PLAN 1629LK, BLOCK A, NE 12-19-02-W5 (22.3 ACRES)

**18.28.2 PERMITTED USES**

Accessory Buildings not requiring a development permit  
Administration Office (accessory to principal use)  
Municipally Operated Waste Management Facility  
Public and Quasi Public Installations and Facilities  
Public Works  
Scale House  
Signs not requiring a development permit  
Solar Power System, Private (Not requiring a Development Permit)

**18.28.3 DISCRETIONARY USES**

Accessory Buildings requiring a development permit  
Accessory Uses (only to the primary use approved for the site)  
Class I/Class II Composting Facility  
Hydro vac Waste Management  
Lot Grading  
Outdoor Storage  
Salvage-Facility  
Signs requiring a Development Permit  
Solar Power System, Private (Requiring a Development Permit)  
Upcycling  
Waste Management, Major  
Waste Management, Minor

**18.28.4 LAND USE REQUIREMENTS**

18.28.4.1 Standards of the development shall be at the discretion of Council.

**18.28.5 DEVELOPMENT REQUIREMENTS**

18.28.5.1 Maximum Height of Structures:

- a. All Buildings: 12m (39.37 ft.).
- b. Or as determined by Council.



**18.28.5.2 Maximum Lot Coverage**

- a. No building or group of buildings including their accessory buildings and impervious surfaces shall cover more than sixty (60) percent of the lot area.

**18.28.5.3 Minimum Yard Setback Requirements for buildings:**

- a. Front Yard Setback:
  - i. 15m (49.21 ft.) from the right of way of an Internal Subdivision Road.
  - ii. 48m (157.48ft.) from the centre line of a Municipal Road.
  - iii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
  - iv. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater.
  - v. Or as determined by Council.
- b. Side Yard Setback:
  - i. 15m (49.21 ft.) from property line.
  - ii. Or as determined by Council.
- c. Rear Yard Setback:
  - i. 15m (49.21 ft.) from property line.
  - ii. Or as determined by Council.
- d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.

**18.28.5.4 Corner Parcel Restrictions:**

- a. In accordance with Sections 9.27.9 - 9.27.12.

**18.28.5.5 Other Minimum Setback Requirements:**

- a. All Minimum setback requirements under the Subdivision and Development Regulation shall apply (most specifically Section 13 pertaining to setbacks for landfill, waste sites)
- b. See Section 9.27 "Special Setback Requirements" of Land use bylaw for additional setback requirements that may apply.
- c. The Approving Authority may require a greater building setback for any use which, in the opinion of the Approving Authority, may interfere with the amenity of adjacent uses.

**18.28.6 SPECIAL PROVISIONS**

**18.28.6.1 Federal / Provincial Approvals:**

- a. A copy of all Federal and/or Provincial approvals, permits, and licenses for the said development on site shall be submitted to the County;



**18.28.6.2 Landscaping and Screening:**

- a. Landscaping and screening shall be completed in accordance with any Federal and/or Provincial permits, approvals, or licenses.
- b. Levels and methods of screening of the site shall be completed to the satisfaction of Council.

**18.28.6.3 Lighting:**

- a. All lighting must be in accordance Section 9.15 of this Land use bylaw and with the Municipal Dark Sky Bylaw.

**18.28.6.4 Lot Drainage:**

- a. A Development agreement shall be entered into for any lot grading to the satisfaction of the Director, Public Works and Engineering.
- b. Lot grading and drainage shall be in accordance with Section 9.17 of the Land use bylaw.
- c. Lot drainage shall be managed in accordance with all Federal and/or Provincial permits and approvals, regulations, and standards.

**18.28.6.5 Nuisance:**

- a. The landowner/applicant shall take all necessary measures to control nuisances within the property boundary or approved site area.
- b. Nuisance management must be conducted in accordance with all Federal and/or Provincial approvals and permits and applicable policies and standards.

**18.28.6.6 The Approving Authority, may, as a condition of issuing a Development Permit impose any condition that addresses a relevant planning and development matter, including but not limited to:**

- a. Location and maximum size of facilities to be constructed.
- b. Development setbacks.
- c. Hours of operation.
- d. Number of employees.
- e. Number of vehicle visits per day.
- f. Noise.
- g. Buffering.
- h. Lighting.
- i. Outdoor storage.
- j. Parking requirements.
- k. Screening of facilities.
- l. Submission of Federal/Provincial Approvals and Licenses.
- j. Reclamation details.



**18.28.6.7 Monitoring:**

- a. All required monitoring shall be completed in accordance with Federal and/or Provincial permits, approvals, and licenses.

**18.28.6.8 Site Reclamation:**

- a. Site reclamation shall be conducted in accordance with Federal and/or Provincial permits and approvals, regulations, and standards.
- b. The County shall be notified upon completion of the reclamation and a copy of the reclamation certificate provided to the County.
- c. Subsequent use of the land will be at the discretion of Council and will be based on the level of reclamation attained.

**18.28.7 PROCEDURE**

**18.28.7.1** Notwithstanding the procedure established for development permit applications in Section 4, an application for development permit in respect of lands referred to in Section 18.28.1 shall be decided on by Council.

**18.28.7.2** Notwithstanding the procedure established for the issuance of development permits in Section 5, the Council shall decide on all applications for development permits with respect to lands referred to in Section 18.28.1. The council may approve a development permit application with or without conditions or may refuse an application for development permit.

**18.28.7.3** There is no appeal to the Development Appeal Board from a decision of the Council on an application for a development permit in respect of the lands referred to in Section 18.28.1.

**18.28.8 DEFINITIONS**

**ADMINISTRATION OFFICE** means a specific building or rooms within a building providing for the day-to-day business operation of a facility or primary use on a parcel and may include kitchen and washroom facilities for staff use.

**CLASS I COMPOST** means an operation where waste, not including hazardous waste, is decomposed through a controlled bio-oxidation process, including a thermophilic phase that results in a stable humus-like material but does not include on-site household composting or composting as part of agricultural general in accordance with Section 10.8, a compost facility that receives only sludge, a class ii compost facility, or a manure storage facility.

**CLASS II COMPOST** means an operation where only vegetative matter or manure is decomposed through a controlled bio-oxidation process, including a thermophilic phase, which results in a stable humus-like material but does not include on-site household composting or composting as part of agricultural general in accordance with Section 10.8 or a manure storage facility.

**HOUSEHOLD HAZARDOUS WASTE DROP OFF AREA** means a facility for the collection and temporary storage of household hazardous waste. No permanent storage or processing of such items is allowed.

**HYDRO VAC WASTE MANAGEMENT** means the storage and/or treatment of slurry waste created in the sub-surface soil excavation process.

**LANDFILL** means a waste management facility for the collection, storage, treatment, or disposal of any solid or liquid material or product or combination of them that is intended to be stored, treated or disposed of, in accordance with Alberta Environment Approvals, permits and licenses.



**MUNICIPALLY OPERATED WASTE MANAGEMENT FACILITIES** means facilities for Waste Management, Major or Waste Management, Minor that are operated by the County or group of municipalities, and/or an organization formed involving more than one Municipality, for the purpose of waste management minor, and /or waste management major.

**OILFIELD WASTE MANAGEMENT** means an operation that is approved under the Oil and Gas Conservation Act and the regulations under that Act to process, treat, dispose of, store, or recycle oilfield waste.

**PUBLIC WORKS** means any Municipal work or development done in connection with the construction, operation, maintenance, or upgrading of County roads, County water and sewer systems, County owned sand and gravel pits, and other similar operations on County owned lands.

**RECYCLEABLE MATERIAL AREA** means an area for receipt and recycling of things such as used tires, white goods, scrap metals, wood, concrete and asphalt, drywall and shingles, agricultural plastics, yard waste, used oil, batteries, subsoil, clean fill, and hydrocarbon contaminated soils.

**RECYCLING COLLECTION POINT** means a primary or incidental use that serves as a neighborhood drop-off point for the temporary storage of recoverable materials. No permanent storage or processing of such items is allowed.

**SALVAGE FACILITY** a place where second-hand goods, including furniture, books, toys, clothing, building material, and other salvageable items are collected to be sorted and stored for sale or resale.

**SCALE HOUSE** means an office, located a short distance from the main entrance, where all incoming vehicles must stop to be weighed or measured and receive a disposal ticket.

**UPCYCLING** means to reuse (discarded objects or material) in such a way as to create a product of a higher quality or value than the original.

**WASTE INCINERATION ENERGY RECOVERY** means a waste management process that combusts waste to produce energy.

**WASTE MANAGEMENT MAJOR** means the storage, processing, treatment, and disposal of solid and/or liquid wastes, which may have adverse environmental impact on adjacent sites by virtue of potential emissions and/or appearance. Typical uses (include but are not limited to):

- Class II landfills,
- Contaminated soil reclamation sites or oilfield waste management operations.
- Waste transfer and compacting stations,
- Recycling material areas and facilities (not including recycling ~~depots~~ collection points),
- Household hazardous waste drop off areas.
- Incinerators and waste incineration energy recovery operations, and
- Wrecking and scrap metal yards.

**WASTE MANAGEMENT MINOR** means the storage, disposal and filling of clean clay, waste concrete and paving materials, non-noxious scrap building materials, and similar non-hazardous wastes which normally do not generate any environmental pollution to the site and surrounding lands.

**WASTE TRANSFER STATION** means a waste management facility where waste is collected and held for removal and to an approved waste management or recycling facility.



## APPENDIX C: SUBMITTED PLANS

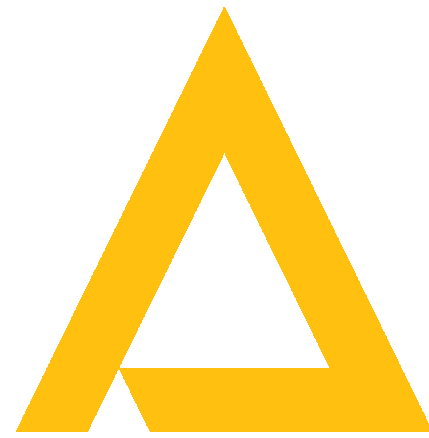
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# FOOTHILLS REFUSE CENTRE

PROJECT NUMBER: 24-052

434137 AB-783, OKOTOKS, ALBERTA T1S 1B6



DP-00	COVER SHEET
DP-01	OVERALL SITE PLAN
DP-02	SITE PLAN
DP-03	GRADING PLAN
DP-04	FLOOR PLAN
DP-05	BUILDING ELEVATIONS
DP-06	BUILDING SECTIONS
DP-07	VEHICLE TURNING ANALYSIS

ISSUED FOR DEVELOPMENT PERMIT  
25.04.16



**OWNER / CLIENT**

Landfill & Resource Recovery Centre  
434137 Hwy 783, Foothills County  
403-938-5224

**ARCHITECTURE**

Ace Architecture Inc.  
300, 524 - 17 Avenue SW  
Calgary, AB T2H 0B2  
403-212-0626

**STRUCTURAL**

RJC Engineers  
1816 Crowchild Trail NW,  
Suite 200  
Calgary AB T2M 3Y7  
403-283-5073

**MECHANICAL**

AME Group  
710 - 1122 4th St. SW,  
Calgary, AB T2R 1M1  
403-252-2333

**ELECTRICAL**

SMP Engineering  
1240 Kensington Rd NW, Unit 403  
Calgary, AB T2N 3P7  
403-270-8833

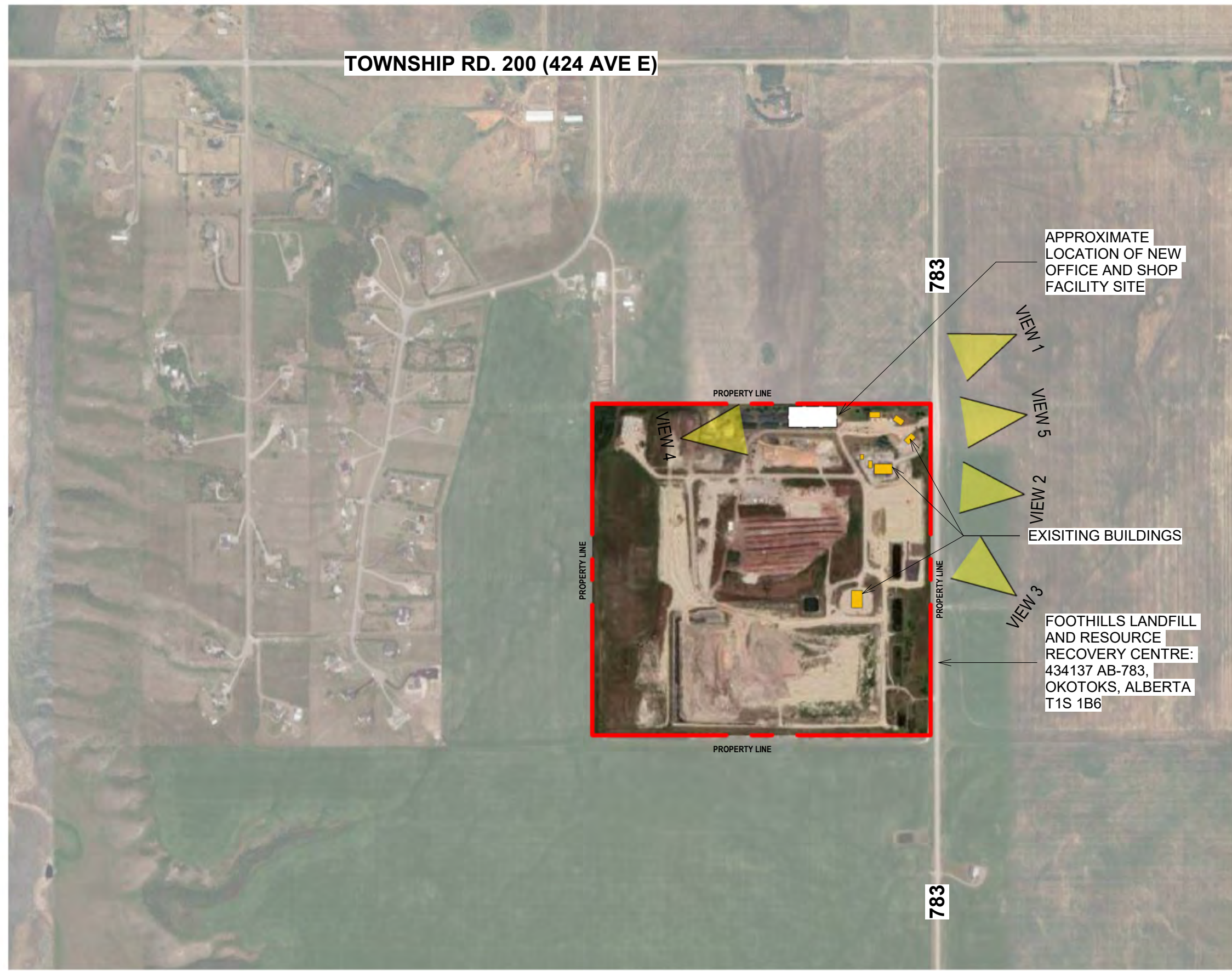
**CIVIL**

RJC Engineers  
1816 Crowchild Trail NW, Suite 200  
Calgary AB T2M 3Y7  
403-283-5073

**ENERGY MODEL**

Enforma Engineering  
8060 Silver Springs Blvd NW,  
Calgary, AB T3B 5G6  
403-921-3839





1 SITE CONTEXT PLAN  
DP-01 SCALE: 1:10000  
TRUE NORTH



2 PROJECT EXTENT  
DP-01 SCALE: 1:1000  
TRUE NORTH



VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5

NBC-AE ANALYSIS (PART 3)					
NATIONAL BUILDING CODE - 2023 ALBERTA EDITION					
PROJECT TYPE		NEW CONSTRUCTION			
ADDRESS		FOOTHILLS LANDFILL AND RESOURCE RECOVERY CENTRE: 434137 AB-783, OKOTOKS, ALBERTA T1S 1B6			
LEGAL DESCRIPTION		0021522942 4.29;19;32;SE			
BUILDING CLASSIFICATION					
ATTRIBUTE				CODE REFERENCE	
MAJOR OCCUPANCIES		GROUP F, DIVISION 3, UP TO 2 STOREYS			3.2.2.87
		GROUP D, UP TO 2 STOREYS			3.2.2.84
CONSTRUCTION REQUIREMENTS					
ATTRIBUTE				CODE REFERENCE	
CODE PERMITTED BUILDING AREA		GROUP F-3 @ 2,400 m²			3.2.2.87
		GROUP D @ 1500 m²			3.2.2.84
ACTUAL BUILDING AREA		1566 m²			
NUMBER OF STOREYS		1			1.4.1.2
BUILDING HEIGHT		10.5m			3.2.1.1
NUMBER OF STREETS / ACCESS ROUTES		4			3.2.2.87
SPRINKLER SYSTEM		NO			3.2.2.18
STANDPIPE REQUIRED		NO			3.2.5.8
FIRE ALARM REQUIRED		YES			3.2.4
HIGH BUILDING		NO			3.2.6.1
PERMITTED CONSTRUCTION		COMBUSTIBLE OR NON-COMBUSTIBLE			3.2.2.87
ACTUAL CONSTRUCTION		COMBUSTIBLE CONSTRUCTION			3.2.2.87
INTERCONNECTED FLOOR SPACE		NO			3.2.8.2
MAXIMUM TRAVEL DISTANCE		GROUP F-3 @ 30 m			3.4.2.5
		GROUP D @ 40 m			3.4.2.5
EXITS REQUIRED		2			3.4.2.1
FIRE RESISTANCE RATINGS					
COMPONENT		REQUIRED FRR		LISTED DESIGN NO. OR DESCRIPTION	CLOSURES (TABLE 3.1.8.4) CODE REFERENCE
SERVICE ROOMS		1 HR		-	45 MIN 3.6.2.1
SEPARATIONS BETWEEN OCCUPANCIES					
MINIMUM FIRE RESISTANCE RATING OF SEPARATION				CODE REFERENCE	
MAJOR OCCUPANCY		ADJOINING MAJOR OCCUPANCY		3.1.3.1.	
		F-3	D		
F-3		-	1 HR AS PER 3.1.3.1 (8)		
D		1 HR AS PER 3.1.3.1 (8)	-		
OCCUPANT LOAD					
OCCUPANCY		AREA	AREA / PERSON	ALLOWABLE OCCUPANT LOAD	CODE REFERENCE
GROUP F-3 (WAREHOUSE)		1,057	28	43	3.1.17.1
GROUP D (OFFICE)		485	9.30	37	3.1.17.1
NOTE: CLIENT TO SPECIFY ACTUAL OCCUPANT LOAD (AS PER 3.1.17.1.(2)).					
WASHROOM					
OCCUPANCY		NUMBER OF PERSONS OF EACH SEX	TOTAL	REQUIRED	PROVIDED CODE REFERENCE
GROUP F-3		22	41	MALE - 1 FEMALE - 2	MALE - 1 FEMALE - 1 UNIVERSAL - 1 3.7.2.2.-A
GROUP D		19			
NOTE: CLIENT TO SPECIFY ACTUAL OCCUPANT LOAD (AS PER 3.1.17.1.(2)). WASHROOM REQUIREMENTS WILL BE MET AS PER 3.7.2.2.-A - WASHROOMS WILL BE AVAILABLE FOR BOTH USES					
EXITING					
OCCUPANCY		PASSAGEWAY	REQ. EXIT WIDTH	PROVIDED WIDTH	CODE REFERENCE
GROUP F-3		DOORS	850mm	915mm	3.4.3.2.-A
GROUP D		DOORS	850mm	915mm	

PROJECT INFORMATION		
<b>MUNICIPAL ADDRESS</b>		
FOOTHILLS LANDFILL AND RESOURCE RECOVERY CENTRE: 434137 AB-783, OKOTOKS, ALBERTA T1S 1B6		
<b>LEGAL ADDRESS</b>		
0021522942 4.29;19;32;SE		
<b>LAND USE ZONING</b>		
DIRECT CONTROL DISTRICT - D28 - WASTE MANAGEMENT FACILITIES		
<b>BUILDING HEIGHT</b>		
10.5m OR AS DETERMINED BY COUNCIL		
<b>SITE AREA</b>		
± QUARTER SECTION (±64.74 Ha)		
<b>SETBACKS</b>		
FRONT : 15M FROM THE RIGHT OF WAY OF AN INTERNAL SUBDIVISION ROAD REAR : 15M FROM PROPERTY LINE		
<b>USE AREAS</b>		
GROUP F, DIVISION 3: 1 552 m²		
<b>PARKING REQUIRED</b>		
• INDUSTRIAL - 1 PARKING STALL PER 100 m² • (1551.95 m² / 100 m²) * 1 PARKING STALLS = 16 PARKING STALLS REQUIRED		
NOTE: ACTUAL OCCUPANT LOAD WILL BE LESS THAN THE CALCULATED VALUE. CLIENT TO DETERMINE ACTUAL OCCUPANT LOAD AND WILL GOVERN THE PARKING CALCULATION. (AS PER 3.1.17.1.(2)). • PROVIDED: 12 PARKING STALLS		
<b>GROSS FLOOR AREA - GFA</b>		
1566.38 m²		
USABLE AREA FOR OCCUPANT LOAD CALCULATION		
ROOM	AREA	OCCUPANCY
BREEZEWAY	71 m²	D
CHANGE ROOM	17 m²	D
CHANGE ROOM	17 m²	D
MECHANICAL ROOM	28 m²	D
ELECTRICAL ROOM	37 m²	D
VESTIBULE 2	45 m²	D
UNIVERSAL WASHROOM	7 m²	D
JANITOR	4 m²	D
I.T. ROOM	25 m²	D
FLEX AREA / OFFICE	84 m²	D
WASHROOM 1	3 m²	D
WASHROOM 2	3 m²	D
LUNCH ROOM	118 m²	D
VESTIBULE 1	27 m²	D
D	485 m²	
WORKSHOP	1007 m²	F-3
TOOL CRIB / STORAGE	50 m²	F-3
F-3	1057 m²	
GRAND TOTAL	1542 m²	
NOTE: CLIENT TO SPECIFY ACTUAL OCCUPANT LOAD (AS PER 3.1.17.1.(2)).		

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Revisions:

No.	Description	Date
4	ISSUED FOR DEVELOPMENT PERMIT	25.04.16

Legends:

Client:

Project:

**FOOTHILLS REFUSE CENTRE**

Address:  
434137 AB-783, OKOTOKS, ALBERTA  
T1S 1B6

Sheet Name:

**OVERALL SITE PLAN**

Project Number:  
24-052

Date:  
2025-04-17 1:04:06 PM

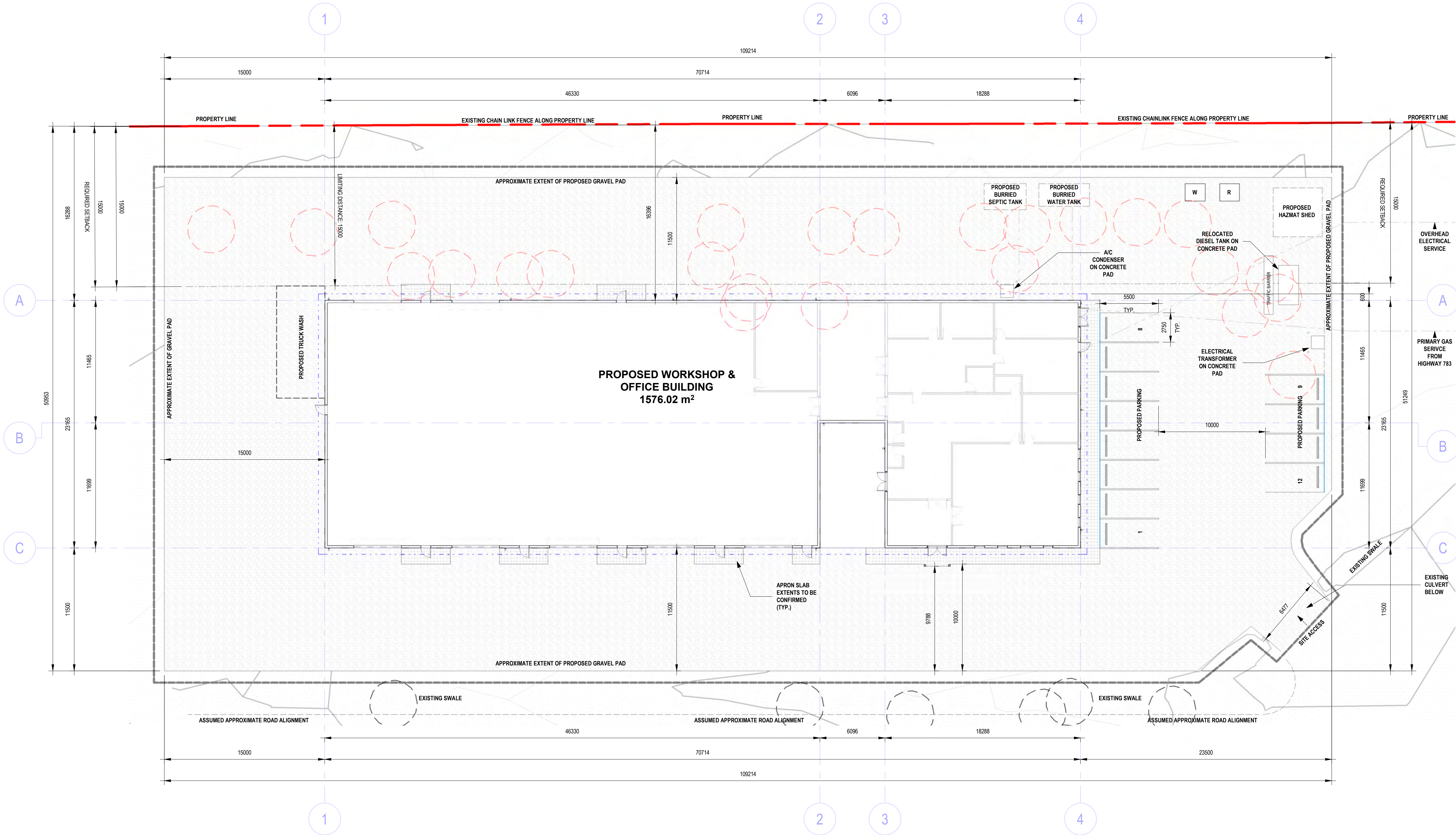
Drawn by:  
NAME

Checked by:  
CC

Scale:  
As indicated

**DP-01**





1 SITE PLAN  
DP-02  
SCALE: 1:200  
TRUE NORTH

## PROJECT INFORMATION

### MUNICIPAL ADDRESS

FOOTHILLS LANDFILL AND RESOURCE RECOVERY CENTRE:  
434137 AB-783, OKOTOKS, ALBERTA T1S 1B6

### LEGAL ADDRESS

0021522942 4:29:19.32:SE

### LAND USE ZONING

DIRECT CONTROL DISTRICT - D28 - WASTE MANAGEMENT FACILITIES

### BUILDING HEIGHT

10.5m OR AS DETERMINED BY COUNCIL

### SITE AREA

± QUARTER SECTION (±64.74 Ha)

### SETBACKS

FRONT: 15M FROM THE RIGHT OF WAY OF AN INTERNAL SUBDIVISION ROAD  
REAR: 15M FROM PROPERTY LINE

### USE AREAS

GROUP F, DIVISION 3: 1 552 m<sup>2</sup>

### PARKING REQUIRED

- INDUSTRIAL - 1 PARKING STALL PER 100 m<sup>2</sup>
- (1551.95 m<sup>2</sup> / 100 m<sup>2</sup>) = 1 PARKING STALLS ± 16 PARKING STALLS REQUIRED

NOTE: ACTUAL OCCUPANT LOAD WILL BE LESS THAN THE CALCULATED VALUE. CLIENT TO DETERMINE ACTUAL OCCUPANT LOAD AND WILL GOVERN THE PARKING CALCULATION. (AS PER 3.1.1.1.1 (2)).

- PROVIDED: 12 PARKING STALLS

### GROSS FLOOR AREA - GFA

1566.38 m<sup>2</sup>

## SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- ASSUMED APPROXIMATE ROAD ALIGNMENT
- PROJECT EXTENT
- WATER MANAGEMENT LINE
- SERVICE LINES AS INDICATED
- CONCRETE PAVEMENT
- GRAVEL PAD
- LANDSCAPING
- EXISTING TREE TO BE REMOVED/RELOCATED
- EXISTING TREE TO BE REMAIN

## SITE NOTES

- FOR ADDITIONAL SITE INFORMATION REFER TO CIVIL AND LANDSCAPE DRAWINGS
- ALL PARKING ADJACENT TO SIDEWALKS CW CITY STANDARD PRECAST WHEEL STOP

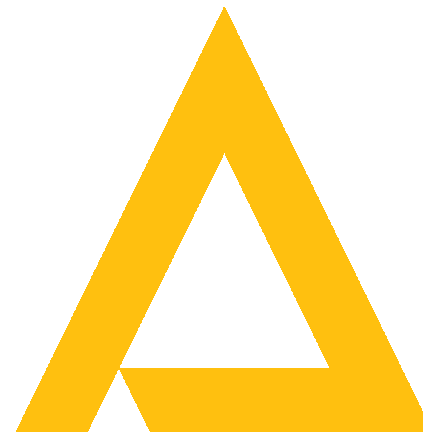
### NO PROPOSED CHANGES TO:

- PROJECT SITE
- WASTE COLLECTION FACILITIES
- MOTOR VEHICLE PARKING STALLS
- DRIVE AISLES
- BICYCLE PARKING
- FENCES
- RETAINING WALLS
- SCREENING
- EXISTING GRADE
- BUILDING HEIGHT
- SIGNAGE

## GENERAL NOTES

### STAGING

- CONTRACTOR TO PROVIDE SAFE ACCESS TO EXECUTE THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. ACCESS MAY BE COMPRISED OF: SCAFFOLDING, STAGING, FALSE WORK, COMBINATIONS OF THE PROCEEDING OR OTHER METHODS APPROVED BY WORKERS' COMPENSATION BOARD OF ALBERTA.
- ALL ACCESS SHALL BE SUITABLE FOR THE SAFE AND EFFICIENT PERFORMANCE OF THE WORK.
- ALL ACCESS SHALL BE CAPABLE OF RESISTING ITS DEAD LOAD AND THE LIVE LOAD OF THE WORKERS AND STORED MATERIALS. LIVE LOADING TO CONFORM TO CAN/CSA S269.2 M87, ACCESS SCAFFOLD FOR CONSTRUCTION PURPOSES, CLAUSE 5.2.1 (B).
- PHASING OF ACCESS IS ACCEPTABLE.
- 8 FOOT HIGH CONSTRUCTION FENCING IS REQUIRED. FENCING TO BE PLACED AWAY FROM THE BUILDING THE HEIGHT OF /, NY LIFTS USED ON THE PROJECT PLUS ADDITIONAL 10 FT.



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No.	Description	Date
4	ISSUED FOR DEVELOPMENT PERMIT	25.04.16

Legends:

Client:

Project:

FOOTHILLS REFUSE CENTRE

Address:  
434137 AB-783, OKOTOKS, ALBERTA  
T1S 1B6

Sheet Name:

SITE PLAN

Project Number:

24-052

Date:

2025-04-17 1:04:08 PM

Drawn by:

MD

Checked by:

BG

DP-02

Scale:

As indicated



Date:  
Seal:

Firm License to Practice:

Revisions:

No.	Description	Date
4	ISSUED FOR DEVELOPMENT PERMIT	25.04.16

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
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- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Revised for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "bidding" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Client:

Project:

FOOTHILLS REFUSE CENTRE

Address  
434137 AB-783, OKOTOKS, ALBERTA  
T1S 1B6

Sheet Name:

GRADING PLAN

Project Number:

CAL 139251.0001

Date:

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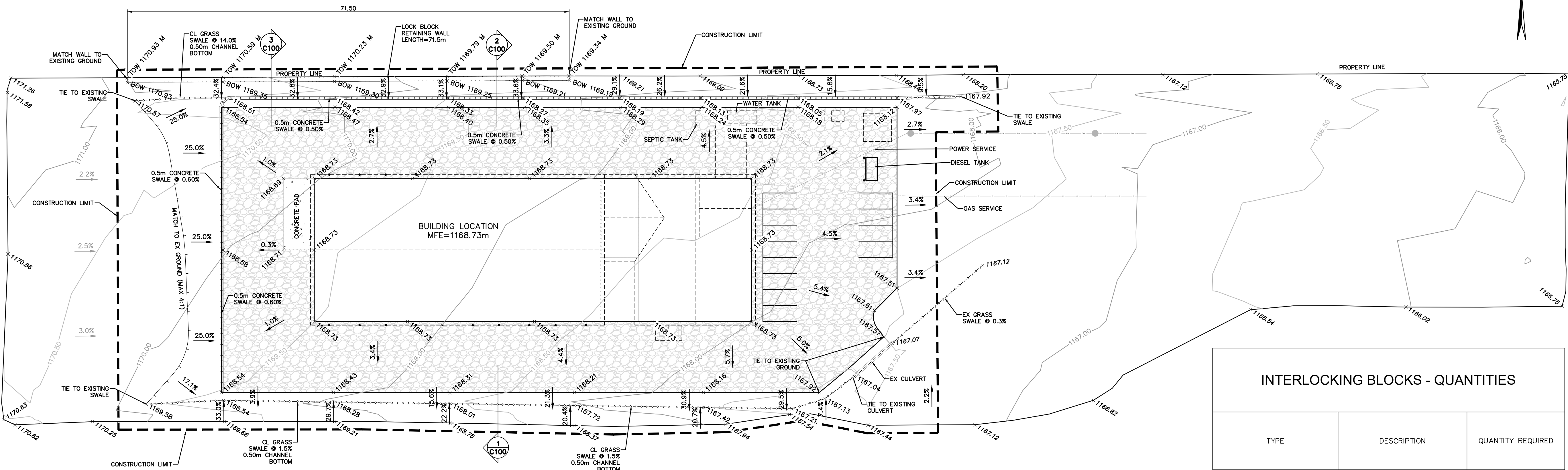
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GDK

DP-03

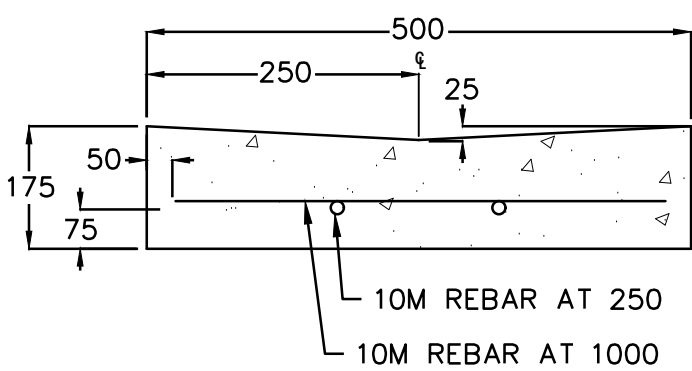
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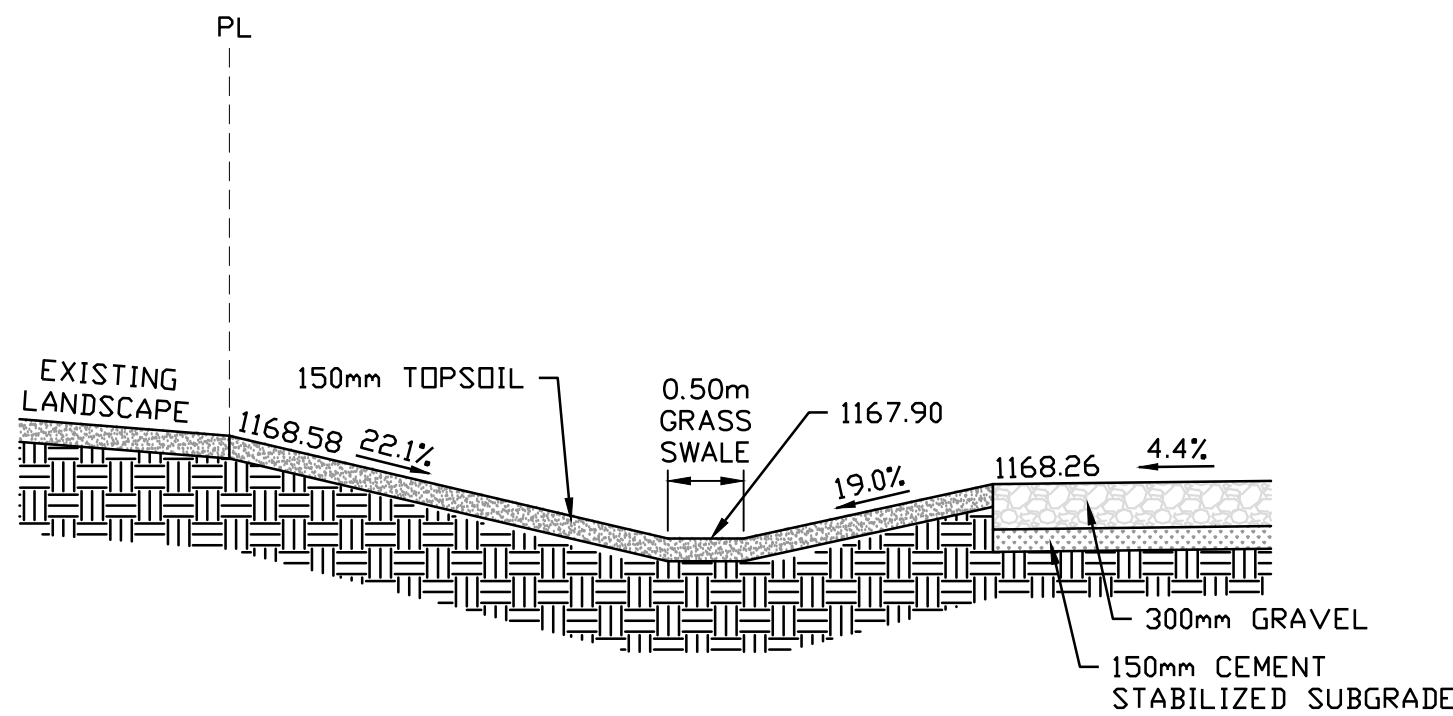


### INTERLOCKING BLOCKS - QUANTITIES

TYPE	DESCRIPTION	QUANTITY REQUIRED
	FULL BLOCK 750X750X1500 KEYED TOP AND BOTTOM	22
	FULL BLOCK 750X750X1500 FLAT TOP, KEYED BOTTOM	47
	1/2 BLOCK 750X750X750 KEYED TOP AND BOTTOM	1
	1/2 BLOCK 750X750X750 FLAT TOP, KEYED BOTTOM	1

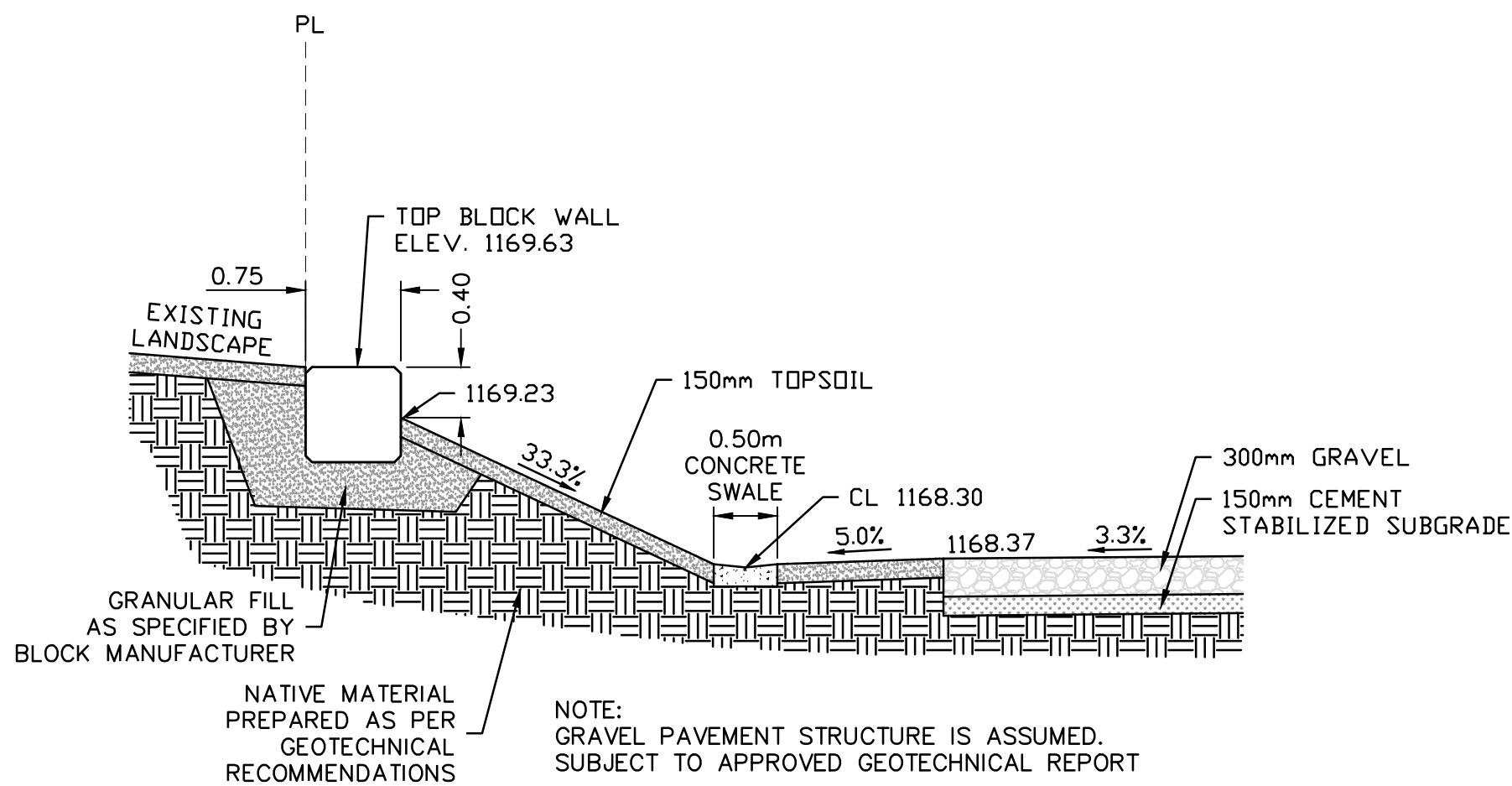


500mm CONCRETE SWALE DETAIL  
N.T.S.



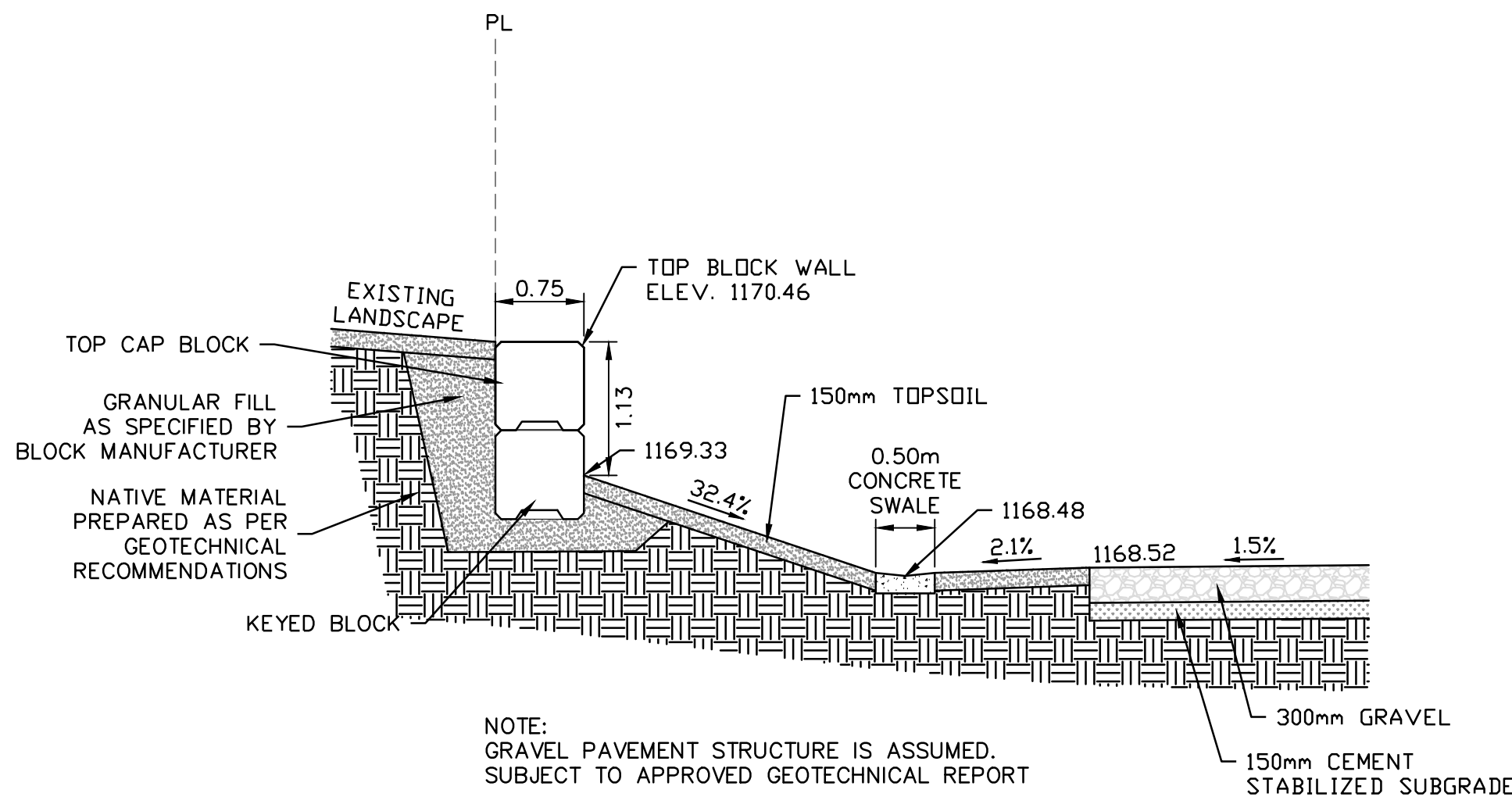
NOTE:  
GRAVEL PAVEMENT STRUCTURE IS ASSUMED.  
SUBJECT TO APPROVED GEOTECHNICAL REPORT

1  
C100  
SECTION  
SCALE 1:50



NOTE:  
GRAVEL PAVEMENT STRUCTURE IS ASSUMED.  
SUBJECT TO APPROVED GEOTECHNICAL REPORT

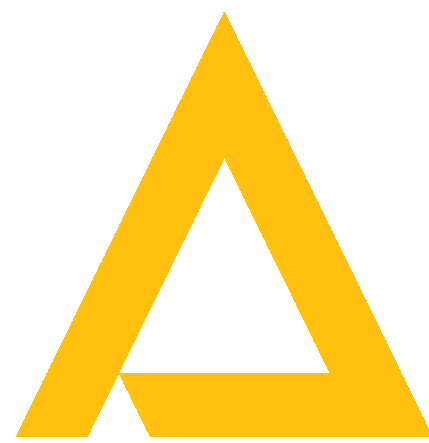
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SECTION  
SCALE 1:50



NOTE:  
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3  
C100  
SECTION  
SCALE 1:50





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Revisions:

No.	Description	Date
4	ISSUED FOR DEVELOPMENT PERMIT	25.04.16

Legends:

AREA SCHEDULE

AREA NAME	AREA
BREEZEWAY	69.89 m²
CHANGE ROOM	17.88 m²
CHANGE ROOM	18.50 m²
ELECTRICAL ROOM	37.16 m²
FLEX AREA / OFFICE	85.08 m²
I.T. ROOM	25.57 m²
JANITOR	4.34 m²
LUNCH ROOM	118.08 m²
MECHANICAL ROOM	28.95 m²
UNIVERSAL WASHROOM	6.52 m²
VESTIBULE 1	28.31 m²
VESTIBULE 2	45.64 m²
WASHROOM 1	3.52 m²
WASHROOM 2	3.73 m²
OFFICE	493.16 m²
TOOL CRIB / STORAGE	51.78 m²
WORKSHOP	1021.44 m²
WORKSHOP	1073.22 m²
TOTAL GFA	1566.38 m²

Client:

Project:

FOOTHILLS REFUSE CENTRE

Address:  
434137 AB-783, OKOTOKS, ALBERTA  
T1S 1B6

Sheet Name:

FLOOR PLAN

Project Number:

24-052

Date:

2025-04-17 1:04:10 PM

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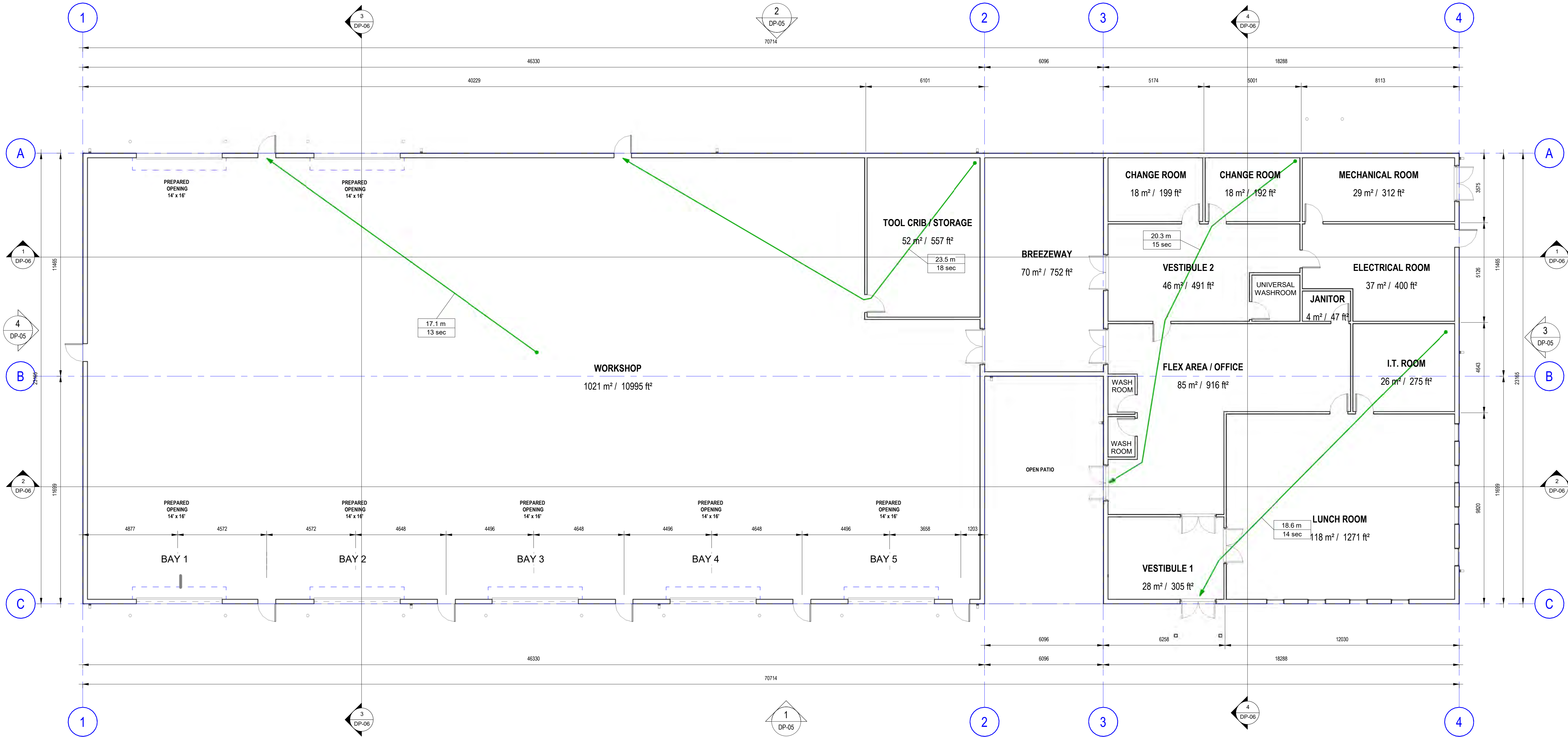
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Checked by:

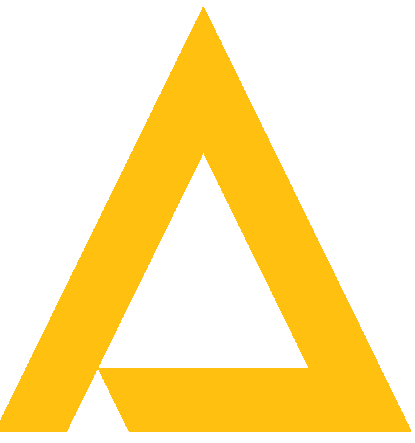
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Scale:

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#### MATERIAL LEGEND

- |   |  |
|---|--|
| 1 | EXTERIOR CLADDING - CORRUGATED METAL - BROWN |
| 2 | ROOFING - CORRUGATED METAL - BLACK           |
| 3 | ALUMINUM GUTTER - BLACK                      |
| 4 | ALUMINUM DOWNSPOUT - BLACK                   |
| 5 | FIBER CEMENT EXTERIOR TRIM - WHITE           |

Client:

Project:

FOOTHILLS REFUSE CENTRE

Address:  
434137 AB-783, OKOTOKS, ALBERTA  
T1S 1B6

Sheet Name:

BUILDING ELEVATIONS

Project Number:

24-052

Date:

2025-04-17 1:04:14 PM

Drawn by:

SE

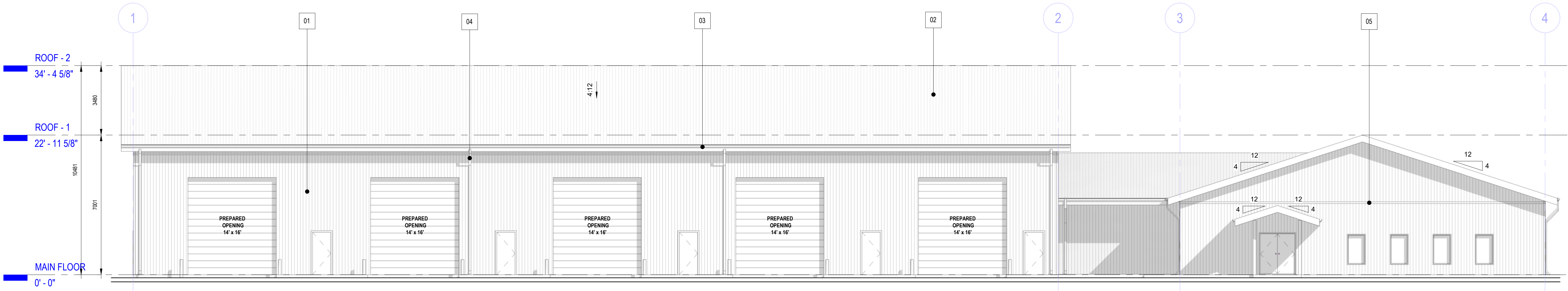
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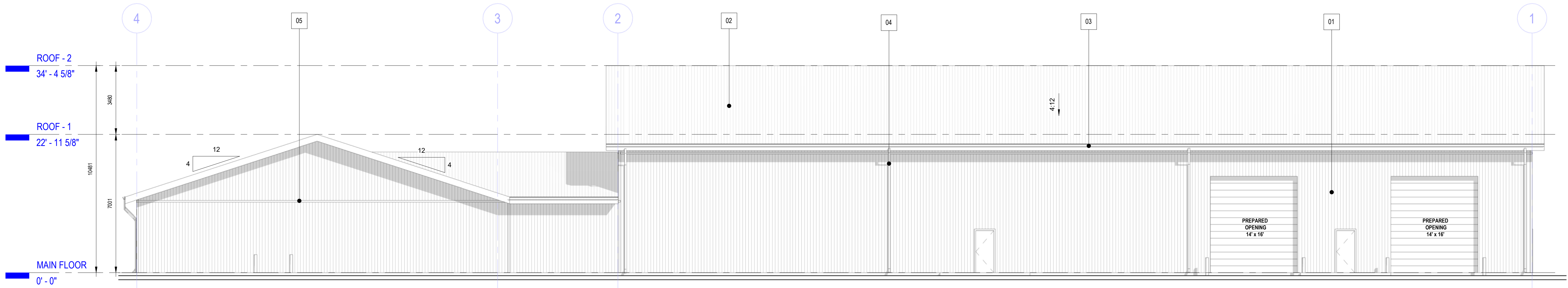
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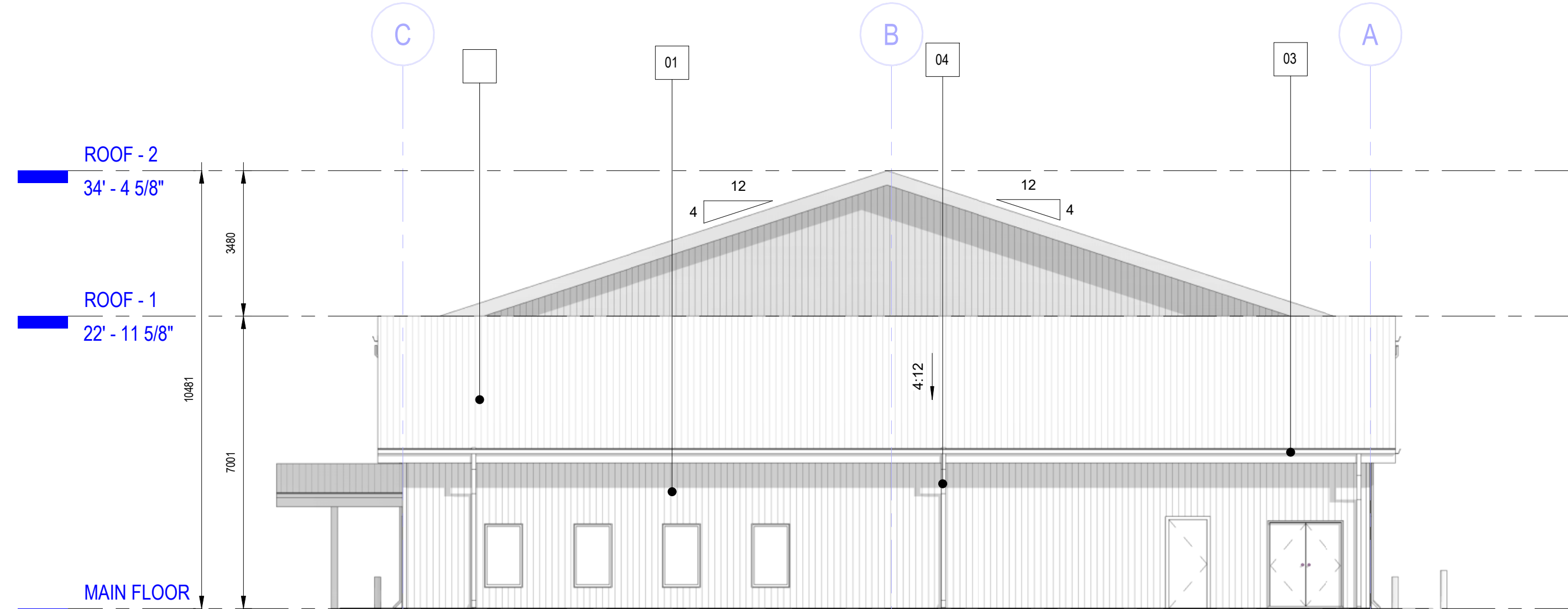
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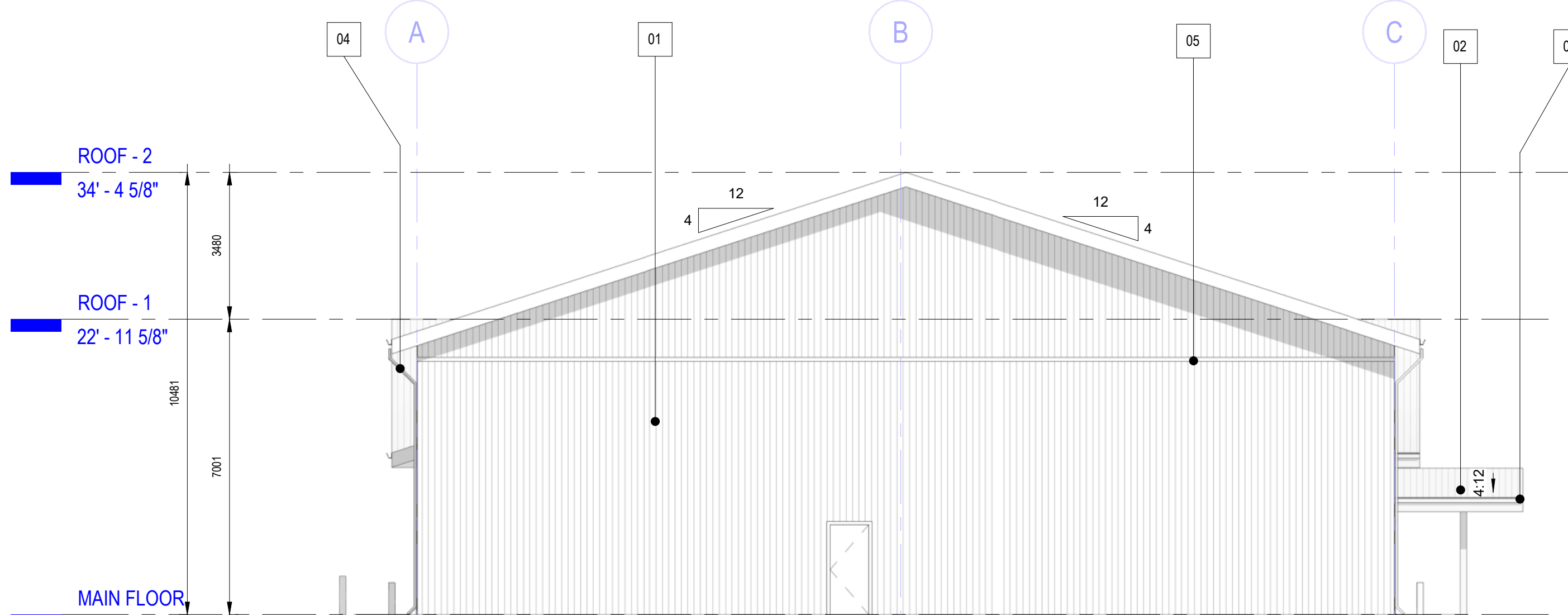
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DP-05 SCALE: 1 : 100



2 NORTH ELEVATION  
DP-05 SCALE: 1 : 100

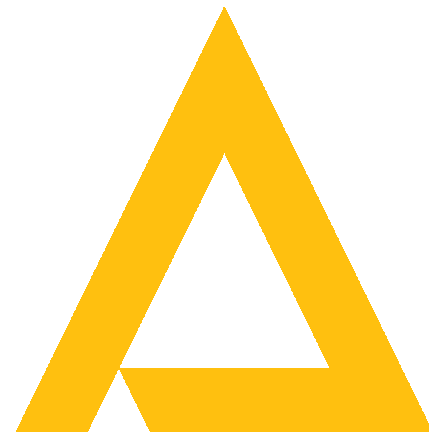


3 EAST ELEVATION  
DP-05 SCALE: 1 : 100



4 WEST ELEVATION  
DP-05 SCALE: 1 : 100





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Address:  
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T1S 1B6

Sheet Name:

BUILDING SECTIONS

Project Number:

24-062

Date:

2025-04-17 1:04:16 PM

Drawn by:

SE

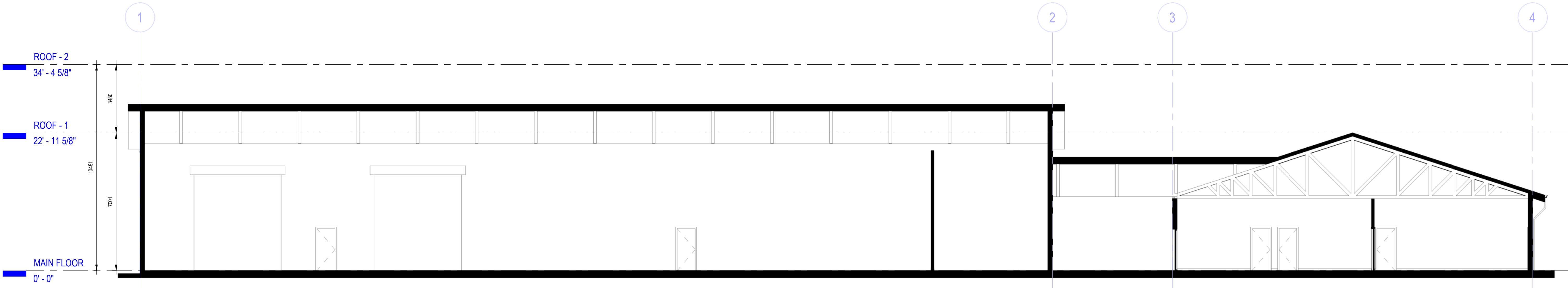
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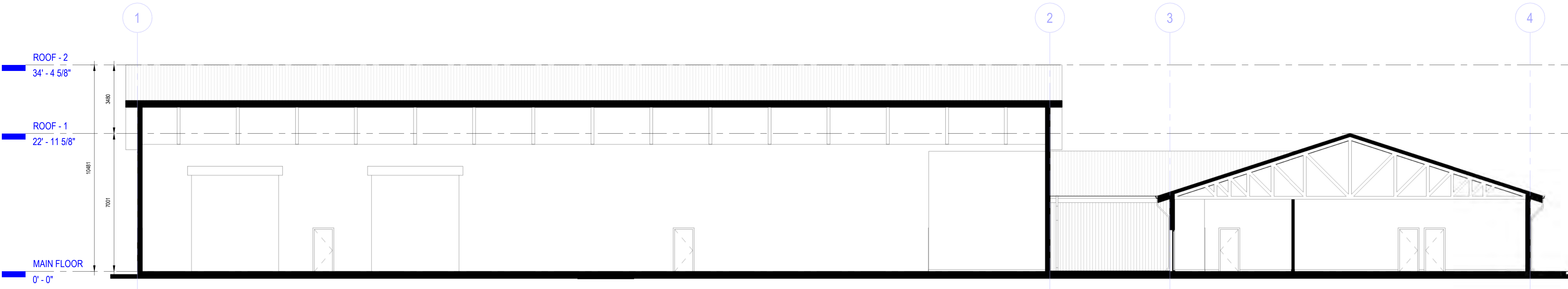
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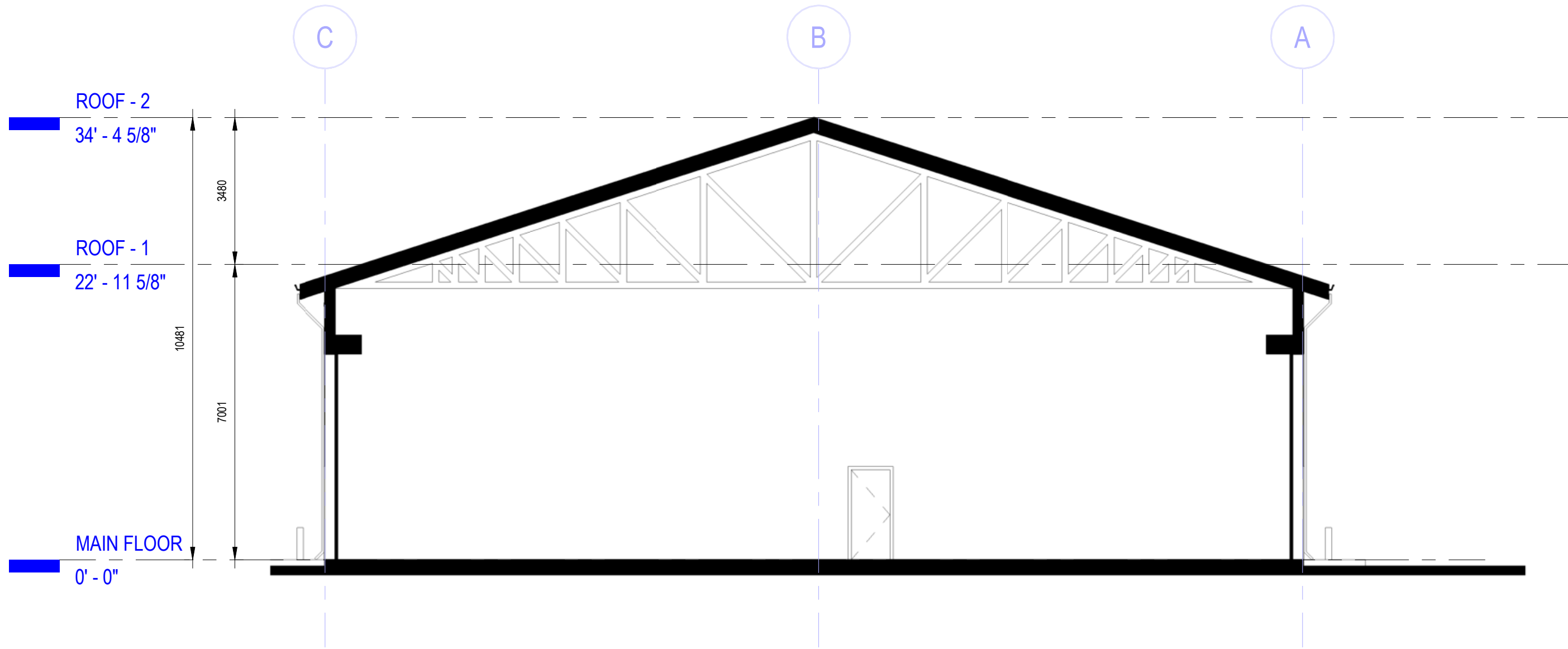
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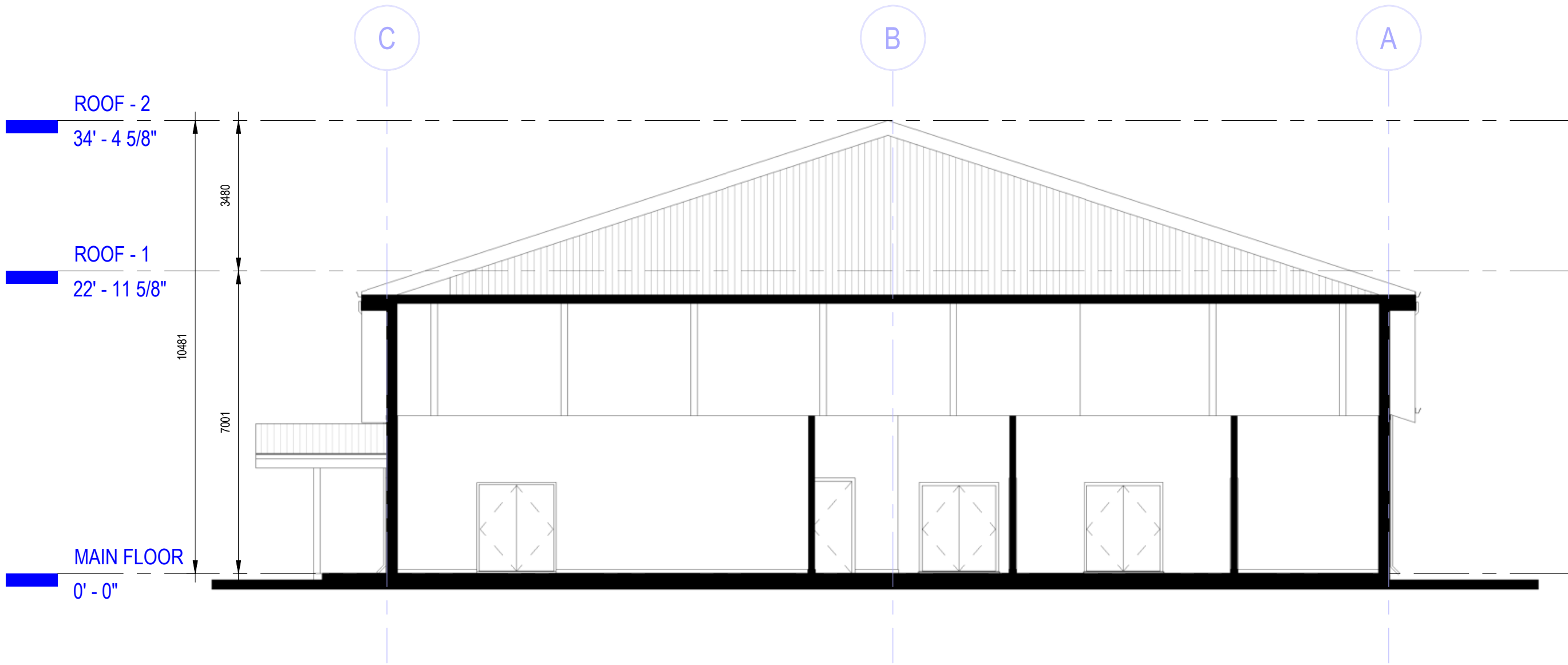
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DP-06 SCALE: 1 : 100



2 BUILDING SECTION 2  
DP-06 SCALE: 1 : 100

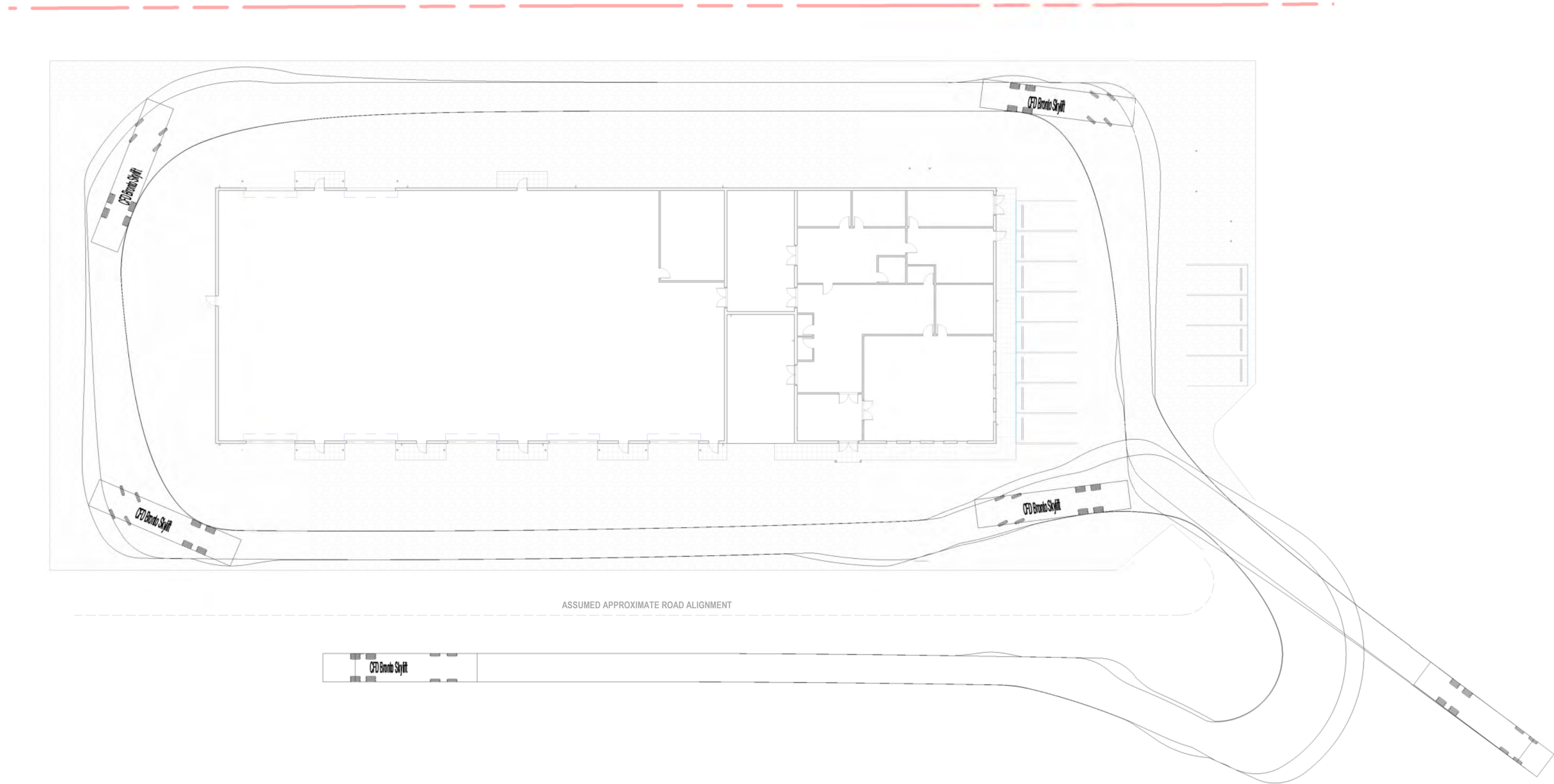


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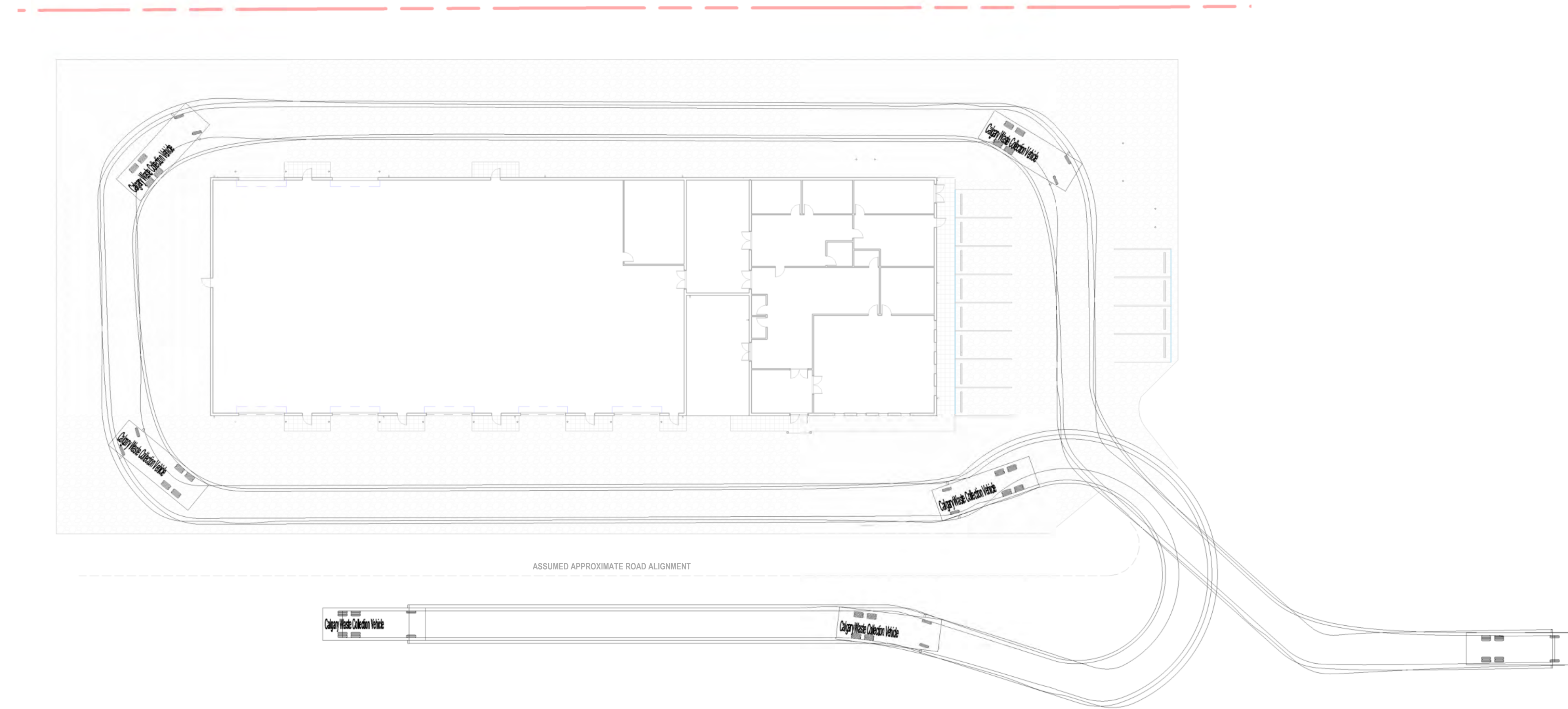


4 BUILDING SECTION 4  
DP-06 SCALE: 1 : 100





2 VEHICULAR TURNING STUDY - FIRETRUCK  
DP-07 SCALE: 1 : 300



4 VEHICULAR TURNING STUDY - GARBAGE  
DP-07 SCALE: 1 : 300

PROPERTY LINE

ASSUMED APPROXIMATE ROAD ALIGNMENT

TRUCK PROFILE

13.93

2.272 1.53 0.81 1.4

CFD Bronto Skylift

Overall Length13.930m

Overall Width2.570m

Overall Body Height3.001m

Min Body Ground Clearance0.284m

Max Track Width2.570m

Lock-to-lock time6.06s

Max Steering Angle (Virtual)47.50°

10

1.4 0.4 1.27 0.035

Calgary Waste Collection Vehicle

Overall Length10.000m

Overall Width3.150m

Overall Body Height3.223m

Min Body Ground Clearance0.313m

Track Width2.800m

Lock-to-lock time5.00s

Curb to Curb Turning Radius12.800m

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Sheet Name:

VEHICLE TURNING ANALYSIS

Project Number:

24-052

Date:

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Drawn by:

SE

Checked by:

BG

DP-07

Scale:

As indicated