

**PUBLIC HEARINGS AND MEETINGS
 PLANNING AND DEVELOPMENT REPORT TO COUNCIL
 OUTLINE PLAN (OP) ADOPTION AND CONCURRENT LAND USE
 March 4, 2026
 To be heard at: 1:30 PM**

CONSIDERATION OF:

- **ADOPTION OF FOOTHILLS LOGISTRICS CENTRE OUTLINE PLAN**
- **CONCURRENT LAND USE APPLICATION – REDESIGNATION**
- **SITE SPECIFIC AMENDMENTS TO BUSINESS PARK DISTRICT**



LEGAL DESCRIPTIONS:

1. Lot 2, Block 4, Plan 1213109, Ptn: NE 13-20-29-W4M
2. Lot 3, Block 4, Plan 1311304, Ptn: NE 13-20-29-W4M
3. Ptn: NE 13-20-29 W4M
4. Plan 9410556, Block 2, Ptn: SE 24-20-29-W4M

AREA OF SUBJECT LANDS:

1. 26.50 acres
2. 9.07 acres
3. 72.63 acres
4. 34.69 acres

CURRENT LAND USES:

- 1., 2., 3., Natural Resource Extraction District
4. Recreation District

PROPOSED LAND USES:

- Business Park District (BP)
- Natural Resource Extraction District (INR)
- Highway Commercial District (HC)
- Municipal Land/Reserve District (MLR)
- Public Utility Lot (PUL)
- Environmental Protection District (EP)

LANDOWNERS:

Volker Stevin Contracting / Bow Heritage Developments Limited

AGENT: B & A Studios – Ken Venner

CONSIDERATION OF THE FOLLOWING PROPOSALS:

OUTLINE PLAN

Adoption of the Foothills Logistics Centre Outline Plan which is to provide the developer's rationale, requirements, and site design for the establishment of a comprehensively planned Transportation and Logistics Centre within a Plan comprised of four parcels with a total area of 142.89 acres, within Lot 2, Block 4, Plan 1213109, Ptn: NE 13-20-29-W4M, Lot 3, Block 4, Plan 1311304, Ptn: NE 13-20-29-W4M, the remainder of the NE 13-20-29-W4M and Plan 9410556, Block 2, Ptn: SE 24-20-29-W4M.

The Developer envisions the Logistics Centre as a *“transportation and logistics hub within Foothills County, servicing the Calgary Metropolitan Region and beyond as a major port of call for truck shipping routes moving through both north-south and east-west trade corridors.*

The proposed development is aligned with the Highway 2A Industrial ASP, the County's primary policy for the Outline Plan area, and represents an immediate and strategically sound return on investment for major utility servicing projects that are presently underway within the County."

AND

LAND USE REDESIGNATION

First reading approval to redesignation of Lot 2, Block 4, Plan 1213109, Ptn: NE 13-20-29-W4M, Block 2, Plan 9410556, Ptn: SE 24-20-29-W4M and the remainder of the NE 13-20-29-W4M from Natural Resource Extraction District and Recreation District to Highway Commercial District (HC), Business Park District (BP), Municipal Land/Reserve District (MLR), Environmental Protection District (EP) and Public Utility (PUL) and with a Natural Resource Extraction District (INR) balance, to facilitate the future subdivision of three (3) Business Park District lots, two (2) Highway Commercial District lots, one (1) Natural Resource Extraction lot, one Environmental Protection District lot, one (1) Municipal Land Reserve parcel and one (1) Public Utility lot. Plan 1311304, Ptn: NE 13-20-29-W4M which is also included within the Plan area will retain its current Natural Resource Extraction land use at its current size (9.07 ac.).

AND

SITE SPECIFIC AMENDMENTS

To allow the following amendments to those portions of the above noted legal descriptions that are to be rezoned as Business Park District:

- Increase building height allowance from 12 metres to 16 metres

Allow the following as permitted uses:

- Business Office
- Manufacturing, Light
- Industrial
- Storage and Warehousing
- Industry, General
- Industry, Light

DIVISION NO: 1

REEVE: Rob Siewert

FILE MANAGER: Theresa Chipchase

EXECUTIVE SUMMARY

Summary of Proposal

The Outline Plan provides support for development of approximately 142.89 acres of land, proposed as Business Park (BP), Highway Commercial (HC), Environmental Protection (EP), Municipal Land/Reserve (MLR), and Natural Resource Extraction (INR) in an application which contemplates Highway Commercial development adjacent to 79th Street East with direct exposure to the Highways 2/547/7, along with internal development of a Business Park, with protection of lands with excessive slopes and lands within the floodway for the Sheep River. The Plan also provides storm pond development, reserve dedication, and allowance for continued use of the existing asphalt plant under Natural Resource Extraction District, with Site Specific Amendments provided to the height restriction and permitted uses within the Business Park District. The lots are proposed to be serviced through connection to the County's potable water infrastructure with interim wastewater to be provided through pump out tanks, prior to expected connection to the County's wastewater infrastructure.

The Outline Plan (Page 28) further includes goals which are to provide:

- *“Create a transportation and logistics centre that can operate as a hub for regional, national and international shipping routes with large and versatile parcels.*
- *Provide an effective and attractive gateway to the south end of the subject site and incorporate strong design measures and visual appeal to Highway 2.*
- *Establish a highly effective internal road structure, prioritizing clean and efficient access/exits from the site and functional, operational circulation within and among internal site users.*
- *Protect and preserve the flood prone areas adjacent to the Sheep River, while enhancing all naturalized areas through the incorporation of regional recreational uses.”*

Concurrent with the Outline Plan is a land use redesignation request to Council which proposes to redesignate the parcels from Natural Resource Extraction District and Recreation District to Business Park District, Highway Commercial District, Municipal Land/Reserve District (MLR), Environmental Protection District and Public Utility Lot with a Natural Resource Extraction District balance, to facilitate the future subdivision of three (3) Business Park District lots, two (2) Highway Commercial District lots, one Environmental Protection District lot, one (1) Municipal Land/Reserve parcel, one (1) Public Utility lot and one Natural Resource Extraction District balance. With the parcel identified as Plan 1311304, Block 4, Lot 3, Ptn. NE 13-20-29-W4M remaining at its current size of 9.07 acres under its current Natural Resource Extraction District zoning.

Location

The subject lands are located approximately twenty kilometres south of the City of Calgary and 2.5 kilometres east of the Town of Okotoks (outside IDP). Further, the lands are less than one half kilometre north of the CKPC rail line, north of Highway 2A, the Highway 2 overpass and the Petro Canada Highway Commercial development.

The application was reviewed within the terms of the Highway 2A Industrial Area Structure Plan, as well as Foothills County’s Municipal Development Plan 2010, Land Use Bylaw 60/2014, and Growth Management Strategy.

NOTE: The proposed Outline Plan generally aligns with the policies and guiding principles within the respective documents, however, may require revisions to address Council requirements, recommendations provided by the County’s Public Works department in addition to any grammatical errors and/or suggested clarification from staff.

Referral Considerations

The application was subject to a 30-day circulation period and provided to the required Provincial, Municipal, internal and external bodies as well as landowners within one half mile of the proposal. Any comments received have been provided within the Circulation Referral section of this staff report or as attached appendices.

PURPOSE OF APPLICATION

RESOLUTION – to allow approval of the Foothills Logistics Centre Outline Plan, which provides a framework for the subsequent land use, subdivision and development of an area of land within the Municipality’s boundaries.

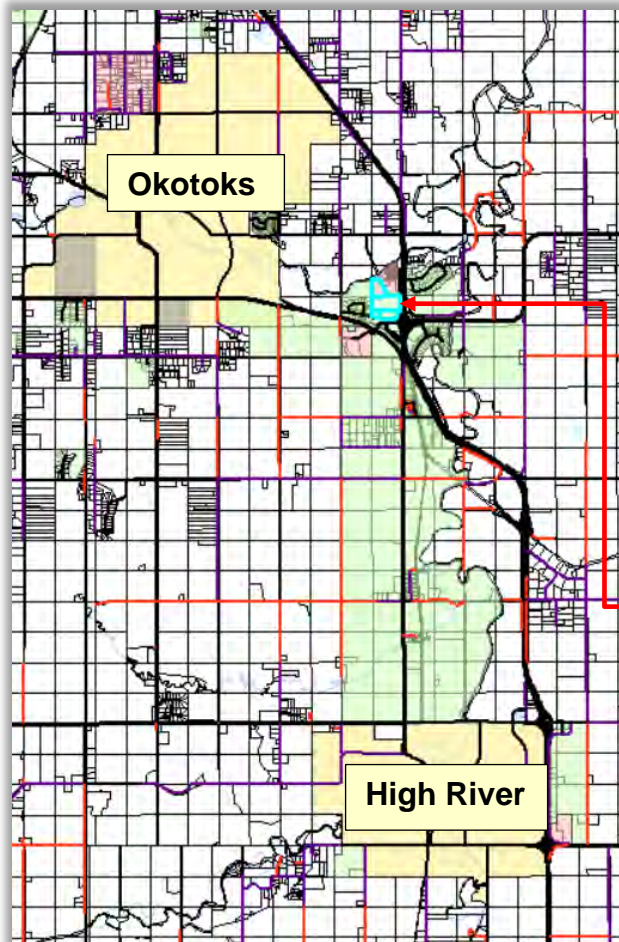
AND

BYLAW XX/2026 – to amend the Land Use Bylaw by authorizing the redesignation of Plan 1213109, Block 4, Lot 2 and a portion of NE 13-20-29 W4M from Natural Resource Extraction District (INR) to Business Park (BP) and Highway Commercial (HC) Districts, with a Natural

Resource Extraction District (INR) balance. The application includes a Site Specific amendment to the Business Park (BP) District, Section 14.1.6.5, to allow for the maximum height of a structure to be 16 m; and amendment to Section 14.1.3 of the Business Park (BP) District to allow the following Discretionary uses to be changed to Permitted uses: Business Office, Industrial, Storage and Warehousing, Industry, General, Industry Light, Manufacturing, Light, Warehousing and Storage.

And to further amend the Land Use Bylaw by authorizing the redesignation of Plan 9410556, Block 2, Ptn. SE 24-20-29 W4M from Recreation District (REC) to Environmental Protection (EP), Public Utility (PUL) and Municipal Land/Reserve (MLR) Districts.

AREA CONTEXT



The Foothills Logistics Centre Outline Plan (plan area shown outlined in blue on the map to the left) is located within the H2AIASP, north of the Aldersyde Junction and Western Gateway Outline Plans, and the Petro Canada Commercial development, east of the Warner Business Park in close proximity to the Town of Okotoks, Highways 2 and 7, the Ravencrest and Silvertip Area Structure Plans, the CPKC rail line and the Foothills Field House.

Legend:
H2AI Area Structure Plan
Aldersyde Junction Outline Plan

Subject Lands outlined in blue

HISTORY OF SUBJECT LANDS

1994 - The parcel north of the natural resource extraction lots was subdivided out as a Recreation District parcel, as part of an overall plan to create an event venue in this valley, in conjunction with the Direct Control District and Business Park parcels, adjacent to its east boundary. This Plan was eventually abandoned and between 1994 and 1996 four Direct Control #10 District (DC 10) parcels were subdivided from the quarter with an additional DC 10 lot in 2013.

2003 - Country Lane RV Park began to develop within lands redesignated to Direct Control District #10. Lots within the Park were registered under a condominium plan which identifies a number of individual units along with common properties, for part time recreational vehicle residency.

The subject quarter outside the Petro Canada Highway Commercial development began subdividing in 2003, in order to separate out the business operations for Volker Stevin within three Natural Resource Extraction parcels, north of 393rd Avenue East, and one Agricultural District parcel, south of 393rd Avenue East. With the subdivision of the lots now housing a highway maintenance facility, a shop and an asphalt plant under the following timelines:

2001 - Volker Stevin's highway maintenance facility was approved upon subdivision of a 9.07 acre parcel directly south and west of today's application.

2002 - Sand and gravel extraction operation approved on the applicant's lands.

2012 - The asphalt plant originally approved as a temporary use development permit on the property became permanent under a Site Specific Amendment along with the subdivision approval of the 25.50 acre Industrial Natural Resource District parcel.

2018 and 2024 - Full reclamation of Plan 1213109 Blk 4 Lot 2 and the remainder of NE 13-20-29-W4M was completed, with the asphalt plant relocating from the south boundary of the Volker lands to the reclaimed portion of the property along the west boundary in 2023.

NOTE: Volker Stevin has an active development permit on the property proposed to be redesignated with respect to remediation that will expire on December 20th, 2026.

HISTORY OF ADJACENT DEVELOPMENT

October 14th, 2010 – Bylaw 98/2010 - Third reading granted to the adoption of the Highway 2A Industrial Area Structure Plan.

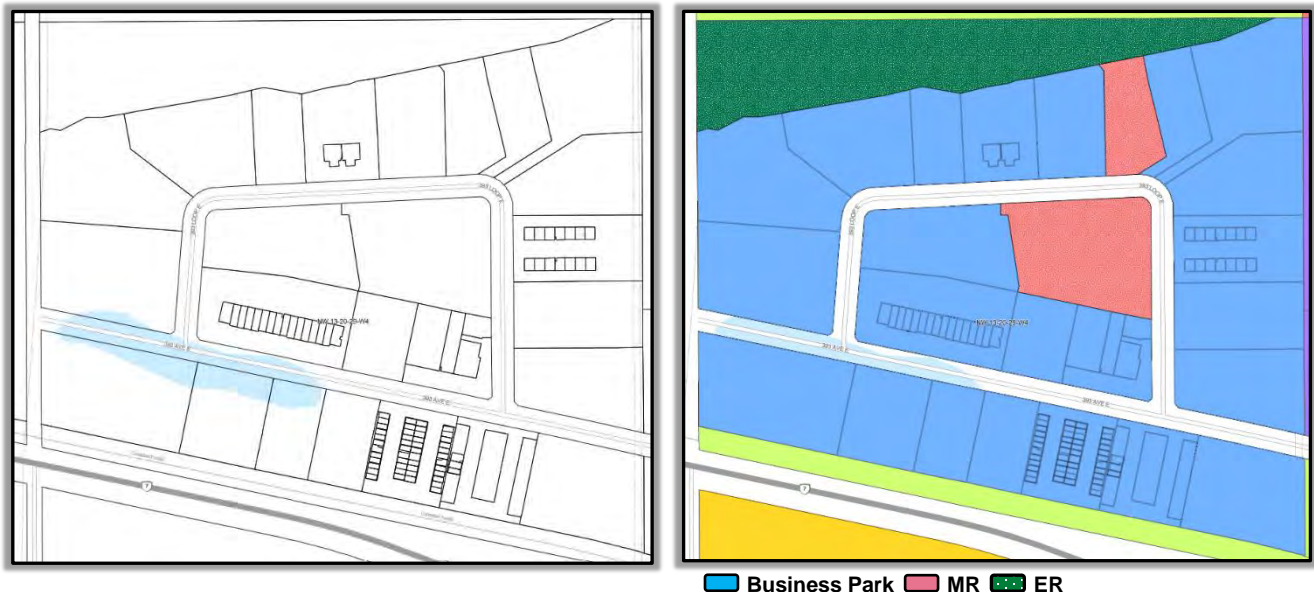
Warner Business Park

The Warner Business Park was approved and developed in two phases.

2010 - Phase One included nine (9) Industrial and Commercial Park District lots, an Environmental Reserve adjacent to the Sheep River, and two Municipal Reserve parcels.

2012 - Phase Two included fifteen (15) additional Industrial and Commercial Park District lots.

All lots were later rezoned to Business Park District with changes to the County's Land Use Bylaw. Six lots within the overall business park were further developed under condominium plans to allow multiple tenants or owners within each lot. Lots and land uses are shown below:

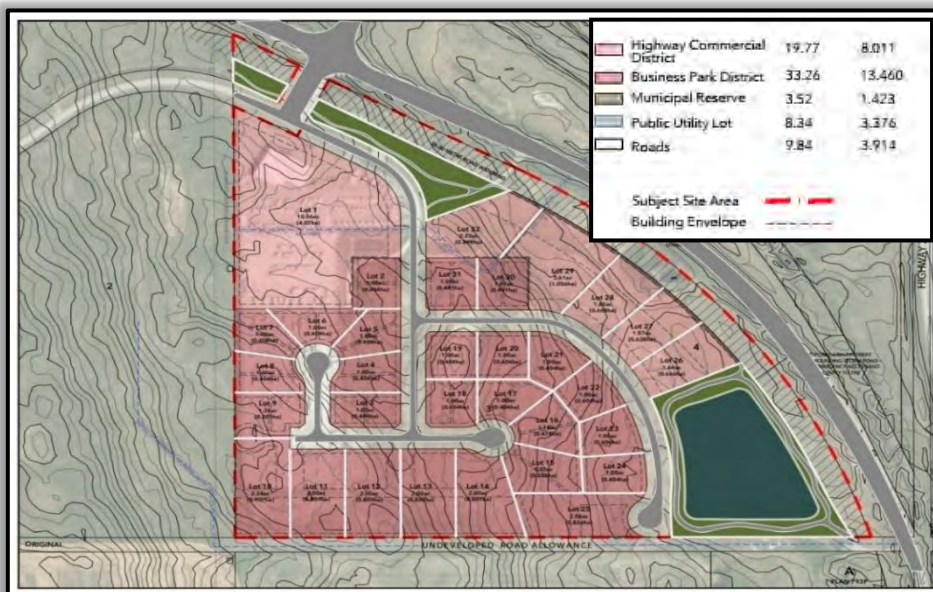


Aldersyde Junction ACP

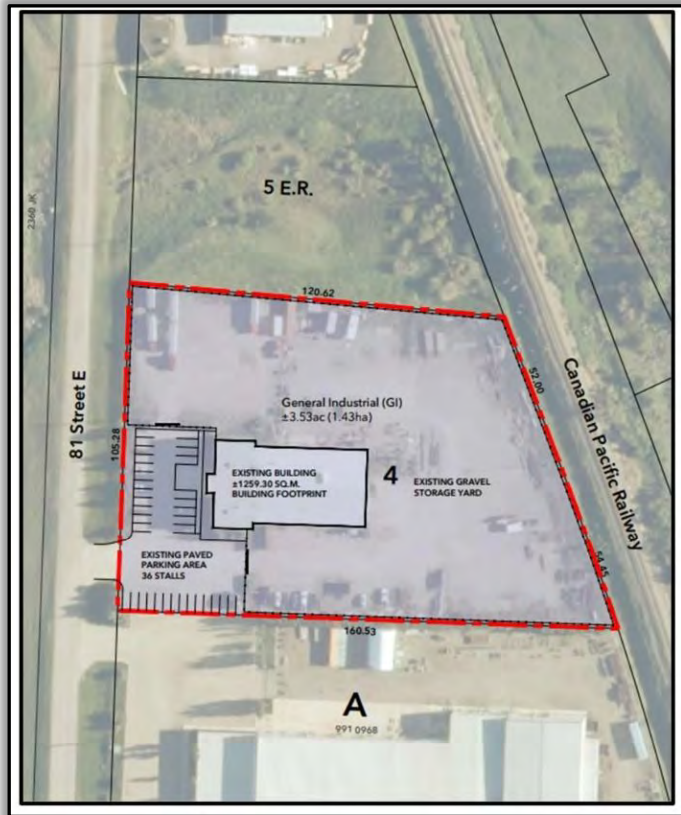


December 19th, 2012 – Resolution approved by Council for an amended Aldersyde Junction Area Concept Plan, which provides direction for the future subdivision of Eco-Industrial and Commercial District lots within three phases of development, as shown on the site plan to the left, for the applicant’s lands, located north and east of the Regional Fieldhouse.

Western Gateway Outline Plan



December 3rd, 2025 – Resolution of Council provided for the Western Gateway Outline Plan with first reading granted to a concurrent Land Use application, as shown on the site plan above, to allow the creation of a business park development contemplating the future subdivision of forty six (46) Business Park District lots, five (5) Highway Commercial District lots, three (3) Municipal Reserve parcels and one (1) Public Utility lot. The approval also acknowledged the recreational vehicle sales centre and recreational vehicle storage on the site.



February 4th, 2026 – application to allow an existing 3.53 acre within the Hamlet of Aldersyde, to be rezoned from Hamlet Industry District to General Industry District.

The refusal was provided under the following motion:

“In their consideration of the criteria within the MDP2010, LUB 60/2014, H2AIASP, and GMS; Council is of the opinion that the proposed redesignation of the subject property is premature in advance of having an approved Area Redevelopment Plan for the Hamlet of Aldersyde, is incompatible with the surrounding area and existing land uses, and is not in alignment with the relevant statutory plans.”

OUTLINE PLAN (OP) APPLICATION AND POLICY SUMMARY

Public works comments highlighted in tan throughout summary

Section 1.0 Introduction and Section 2.0 (Page 11-17 of the OP)

Provides the Developer’s rationale for development and the overall Plan development considerations and objectives.

Section 2.0 Existing Site Conditions (Page 8 of the OP)

Provides the overall existing site conditions including land uses, structures, existing servicing and infrastructure, site history and typography. With the following policies provided within this section:

Section 2.3 Natural Features (Page 18 of the OP)

Policy 2.4.1.1 - provides a Site Grading Plan will be submitted as a condition of Subdivision

2.3.2 Flood Hazard Considerations (Page 20 of the OP)

Policy 2.3.2.1 - precludes development from within the 1:100 year flood hazards as per the Province.

2.3.3 Environmental Features (Page 20 of the OP)

Policies 2.3.3.1 through 2.3.3.3 - provide the applicant will follow the recommendations and requirements of the Biophysical Impact Assessment including those required for displacement of one of two identified wetlands on the site to the satisfaction of the County and applicable Provincial bodies.

2.3.4 Preliminary Geotechnical Evaluation (Page 22 of the OP)

Policy 2.3.4.1 and Policy 2.3.4.2 identify the applicant will provide a site grading plan and a geotechnical evaluation in support of the site grading plan as a condition of subdivision to the satisfaction of the County.

Section 2.4 Infrastructure on Site (Page 24 of the OP)

2.4.1 Well Sites (Page 24 of the OP)

2.4.3 Low Pressure Pipelines (Page 25 of the OP)

Policies 2.4.3.1 through 2.4.3.4 address three abandoned well sites within the Plan Area and identify the necessary consents and approvals that will be required to be complied with, to the satisfaction of the license holders and applicable Municipal and Provincial bodies with setbacks to be determined prior to development.

Public Works suggests that conditions regarding remediation of the abandoned wells within the site may be warranted with approval of the subdivision, as they may be difficult to resolve at the development stage of the proposal.

2.4.4 Historical Resources (Page 26 of the OP)

Policy 2.4.3.1 (should read 2.4.4.1) identifies a Historical Resource Act approval will be obtained to the satisfaction of the Province.

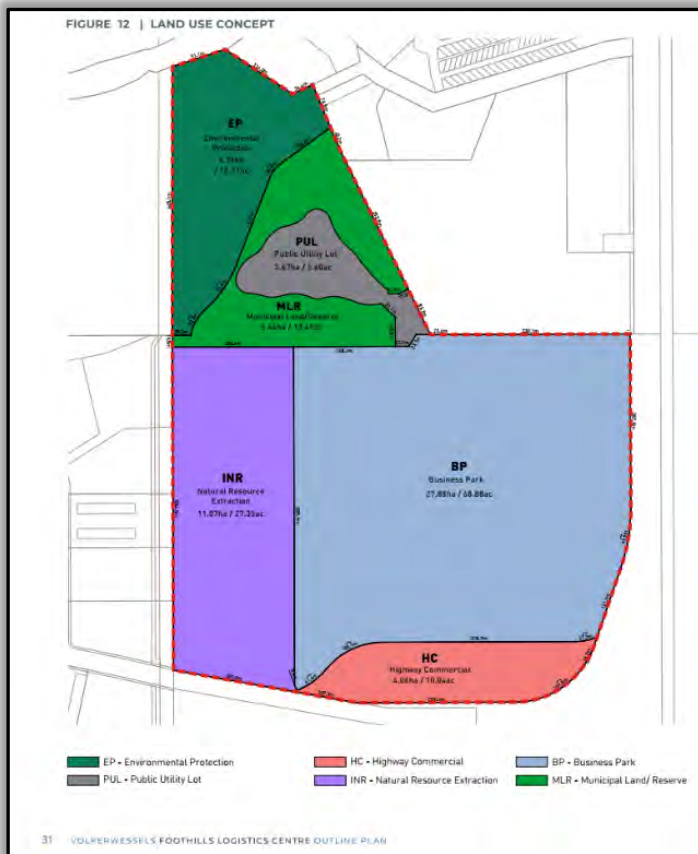
Section 3.0 Development Concept (Page 28-52 of the OP)



The Development Concept section provides the districts outlined in the County's Land Use Bylaw that are contemplated for the site as well as the Site Specific Amendments proposed to the Business Park District that have been requested.

This section of the Outline Plan also reviews the proposed transportation systems, utility servicing, municipal reserve, landscaping and open space requirements and emergency response considerations.

Section 3.1 Proposed Land Use Concept (Page 32 of the OP)



Policy 3.1.6.1 provides the development will generally align with the Land Use Concept in Figure 12 as shown below:

Section 3.1 also identifies the Site Specific Amendments requested to the Business Park District lots which include moving several discretionary uses within the District from discretionary to permitted and to allow the height restriction to be raised from 12 metres to 16 metres.

Section 3.2 Transportation (Page 36 of the OP)

Provides the existing transportation infrastructure, the noted transportation constraints and the proposed improvements to be provided by the Developer which include an extension of 79th Street East, emergency access locations and additional signalization requirements at the Highway 2/Highway 7 interchange.

Public Works reviewed the proposed Emergency Access through the proposed Municipal Reserve, Public Utility Lot and Environmental Protection District parcel, and agrees that this configuration would allow the access to be substandard, gated and locked, further providing that should the emergency accesses be required within a dedicated road right of way, they would need to be constructed to County standards and could not be locked. Alternative to a road right of way, an access right of way may be a consideration.

The Outline Plan further provides in Section 6.4.3 (Page 82) that the extension of 79th Street East will require closure of a portion of the existing right of way (ROW) for 393rd Avenue, with the rerouting of 393rd Avenue, as part of the overall Transportation Plan. This closure would be required as part of a final phase of the overall development of the site and would require a road closure approval to be provided by both the County and the Minister of Transportation.

Policies 3.2.2.1 through 3.2.3.4 provide the Developer will be responsible for all external improvements as required by their Traffic Impact Assessment to the satisfaction of Alberta Transportation and Economic Corridors (ATEC) and the County. Further identifying the developer will enter into a Development Agreement with the County and ATEC regarding all internal and external transportation infrastructure requirements and payment of required offsite levies.

Public Works provides that policies 3.2.2.1 through 3. are to reference Alberta Transportation and Economic Corridors (ATEC) and not Alberta Environment and Parks (AEP). Further, the proposed road widths are 19.0 m and 24.6 m when Foothills County industrial/commercial road classification is typically a 30 m right of way. Engineering will need to confirm that the required roadway can be constructed within the smaller right of way. A cross section will need to be provided to determine if the narrower width will pose issues for operations. If ditches are proposed, revision will be required, roads of this width in an industrial/commercial area typically have curb and gutter instead of ditches.

Section 3.3 Utility Servicing (Page 42 of the OP)

Identifies the servicing considerations for the Outline Plan which proposes connection to the County's regional water supply with extension of this service to the Development area.

As a regional wastewater system is not yet possible for this Development, the applicant is proposing the possibility of pump out wastewater tanks or alternative onsite treatment options.

Stormwater is proposed to be accommodated on site through catch basins provided throughout the overall design and a storm pond with controlled release to the Sheep River with an overland drainage system through the proposed Environmental Protection District parcel.

Public Works provides that when the proposed and existing Natural Resource Extraction District parcels further develop, the active storage within the stormwater pond may need to be increased. A shadow plan may be required to identify the changes that may be required to the proposed public utility lot with this future development phase.

Further providing that additional review of the stormwater requirements may be warranted to clarify the overall stormwater design and allow for expansion of the system with the conversion of the INR lands in the future.

Policies 3.3.1.1 through 3.3.3.6 provide water/wastewater/stormwater will be constructed in accordance with County standards under a Development Agreement including all required off site levies, with interim measures provided for wastewater and ROW's provided for water and stormwater to the County's satisfaction.

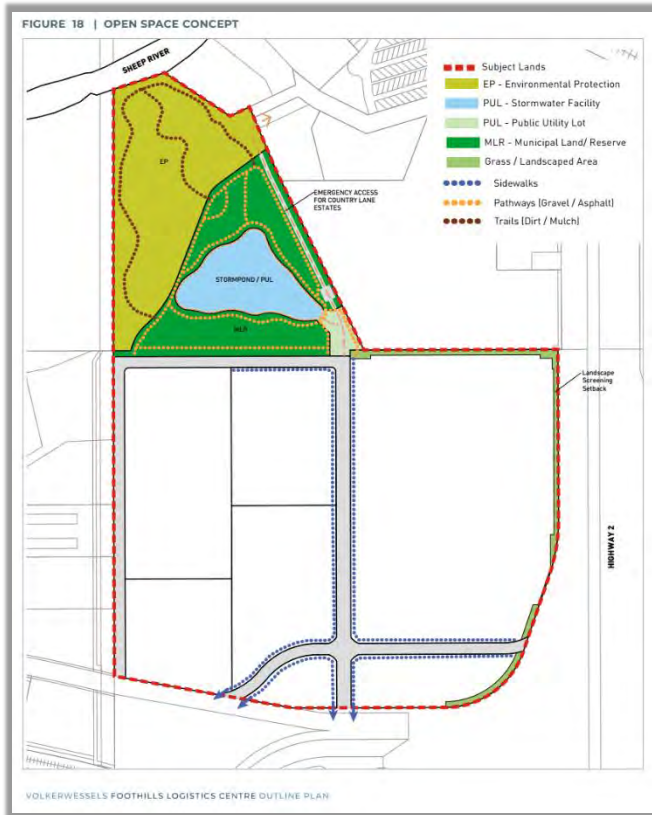
Public Works has provided that the project's additional water use of 625m³/day exceeds the spare capacity of Phase 1 of the water treatment plan that is currently under construction, with the capacity being planned in Phase 2 to be largely consumed by Cargill. The water use for this development is proposed to be 3.8 times the anticipated rate. No justification has been provided for the relatively high water consumption, and the relatively high, assumed, water flows are translating into relatively high sanitary flow therefore it is suggested that the water and wastewater needs of this development be further reviewed.

Further providing that water for fire flows and hydrants may also warrant further review and will require input from the County's Safety Codes officer based on National Building Code requirements.

Section 3.4 Open Space Considerations (Page 48 of the OP)

Provides the Developer's proposal for Environmental Reserve to be allocated as Environmental Protection District, as well as Municipal Reserve under the County's Municipal Land/Reserve District. Whereby the Developer will provide recreational opportunity within the overall development and environmental protection for the Sheep River. The Developer has provided that the overall Plan will comply with the County's enhanced design guidelines as provided within

the County's H2AASP, as well as the requirements of the Environmental Protection and Municipal Land/Reserve Districts.



Policy 3.4.2.1 and 3.4.2.2 outline the Developer will provide a landscape and maintenance plan at the subdivision stage, to ensure compliance with the enhanced design guidelines of the H2AASP and the Municipal/Land Reserve policies.

A concept of potential pathway development is shown in Figure 18 Open Space Concept (Page 47 of the Outline Plan), to the left. An additional concept of the landscaping proposed east and south of the Highway frontage is provided within Figure 19 on Page 51 of the Outline Plan.

Public Works provided advisory comment that should the Business Lot Association be dissolved the County would typically only mow the ditches, trim trees and spray weeds. Further outlining that an enhanced maintenance agreement and landscaping plan need to be accepted by their department.

Section 4.0 Policy Alignment (Page 54 of the OP)

This section references the County's Municipal Development Plan as well as the Highway 2A Industrial Area Structure Plan only.

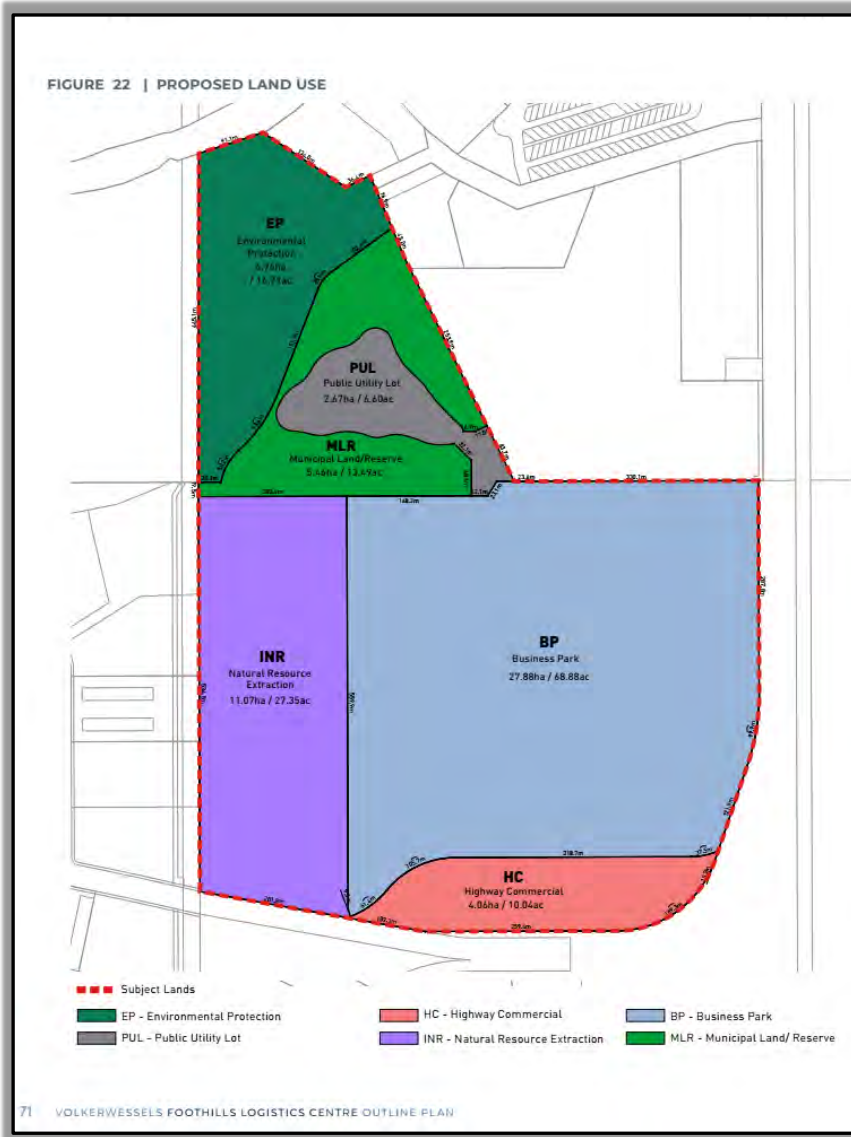
Section 4.1 Municipal Development Plan (Page 54 of the OP)

Pages 54 through 56 of the Outline Plan illustrates how the Developer believes the Development to follow the "Principles for Planning" as outlined in the County's Municipal Development Plan.

Section 4.2 Highway 2A Industrial ASP (Page 57 of the OP)

Pages 57 through 64 of the Outline Plan reiterate the vision and concept plan for the H2AASP as identified within that document and further provides that the "future development within this Outline Plan is expected to adhere to the H2AASP's Guiding Principles, which are captured in the policy's overall vision." In the corresponding pages the Developer provides how the Plan is proposed to comply with the Social/Cultural, Environmental and Economic Goals and Objectives of the ASP.

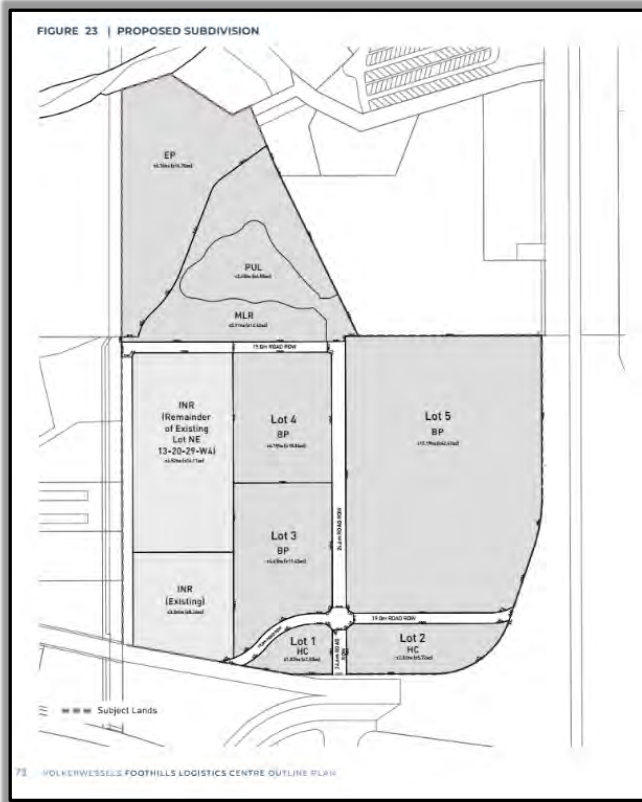
Policies 4.2.4.1 and 4.2.4.2 provide that all industrial activity will be conducted indoors and outdoor storage is not allowed unless approvals are provided by the Approving Authority in accordance with the Enhanced Design Guidelines within the H2AASP.



The proposed land uses and general location for each use are shown within Figure 22 above, which can be found on Page 71 of the Outline Plan.

Policy 6.2.1 of the Outline Plan provides that land use is to be implemented as generally illustrated within this figure.

Section 6.3 Proposed Subdivision (Page 74 of the OP)



Future subdivision of the site proposes the creation of the following lots and infrastructure development:

- Three (3) Business Park District
- Two (2) Highway Commercial District
- One (1) Public Utility
- One (1) Environmental Protection District
- All transportation and utility infrastructure Reclamation completion
- Business Lot Owner Association registration

Policy 6.3.1 to 6.3.3 provide subdivision of the property will be generally as illustrated as shown in Figure 23 to the left.

Section 6.4 Development Phasing and Site Access (Page 76 of the OP)



Provides the Development will include three initial phases with “future development phase(s)” also noted, as identified on Figure 24 to the left, which are to be provided upon depletion of the asphalt plant.

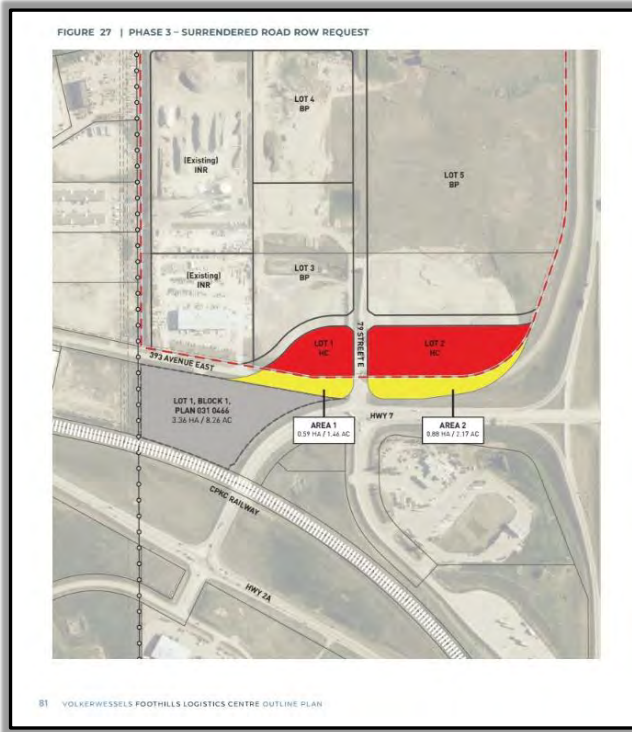
Phase 1 is to include internal/external road development along with two Business Park District lots, the Environmental Protection District parcel, the MR and the PUL

Phase 2 includes development of one additional Business Park District lot

Phase 3 includes development of two Highway Commercial District lots

Future Development Phase(s) are to accommodate redevelopment of the asphalt plant which is projected to continue operation for 20 or more years. The Plan provides future amendments to the Outline Plan will be required in support of these future phases at with remediation asphalt plant site.

Sections 6.4.1 through 6.4.4 of the Development Phasing and Site Access portions of the Outline Plan provide what is to be included within each phase of Development and how overall access and emergency access will be provided for each phase.

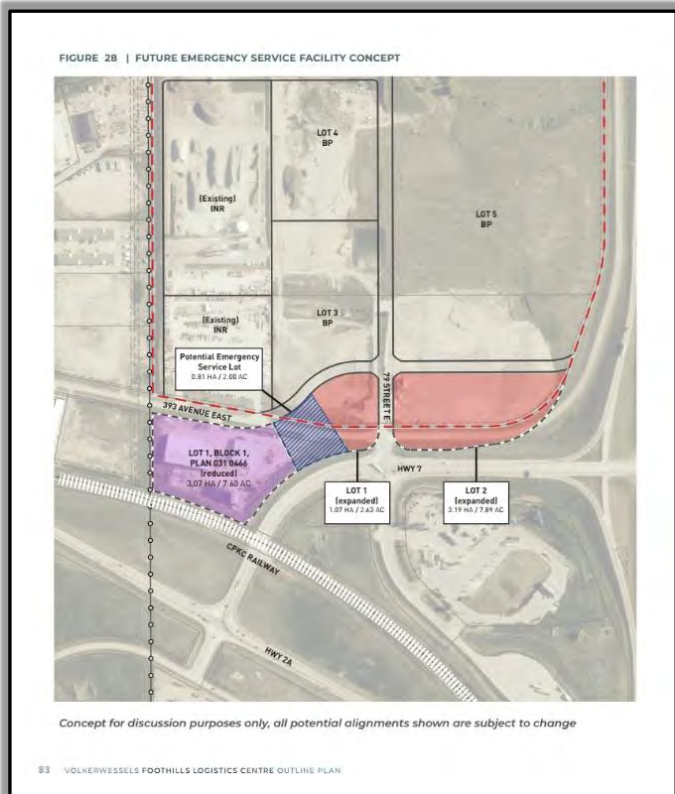


Of note within Phase 3 is a request for road closure, for portions of 393rd Avenue East, as shown in Figure 27 to the left, to allow portions of 393rd, left stranded as a result of the transportation realignment of 79th St. East and 393rd avenue to be consolidated into the two Highway Commercial lots as proposed by the Developer.

Public Works suggests the road closure approval may need to be obtained prior to the approval of phase 3 of the overall development. Road closure applications can take a considerable amount of time to complete, approval of which would be fairly critical to the overall development of the traffic infrastructure for the proposal.

The developer has provided that the Highway Commercial development proposed within Phase 3 will not proceed until the road closure has been finalized.

Section 6.4.5 Potential Foothills County Emergency Services Facility



This section provides a conceptual draft for the location of a possible 2.0 acre lot for the location of a Regional Fire Hall.

Policy 6.4.5.1 identifies the Developer shall enter into a future Development Agreement with the County for the Service District parcel as shown in the conceptual drawing provided to the left.

Public Works has provided the proposed site does include one of the abandoned well sites within the Developer's lands, recommending that should Council consider development of this portion of the lands for a future public use that the well site should be remediated by the Developer under the requirements of the applicable Regulatory body, as a condition of subdivision.

Section 6.5 Business Lot Owner's Association (BLOA)

Section 6.6 Architectural Design Considerations

Policies 6.5.1 through 6.6.2.1 provide a BLOA will be established upon subdivision of the property that is to be responsible for landscaping, waste management, maintenance, lighting, common storage, snow removal, with architectural guidelines also to be established and registered against each title. Additionally, providing that all development is to comply with the H2AIASP design guidelines.

Public Works provides that any entrance feature proposed within the road right of way is subject to Council approval and will be the sole responsibility of the Business Lot Owners Association.

Section 6.7 Illustrative Development Concept



Provides Council with a conceptual drawing of the overall design of the property upon full build out of the Development Area as shown in the Illustrative Concept Plan Figure to the left.

Section 7.0 Supporting Technical Information

Public Works provided the following comments on the technical reports that were provided as part of the Outline Plan submission:

Utility Servicing Report

- Calculations under this report are generating a very high proposed water consumption rate.
- Sewage generation is also anticipated to be high consuming 60% of the wastewater treatment plant capacity on opening day of this facility.
- Water and wastewater generation requires further analysis and review.

Stormwater Servicing Report

Public Works recommends County ownership of the stormwater infrastructure.

The stormwater servicing report should include additional predevelopment warrants, pond design with respect to inlet and outlet locations, discharge location, flood events, mitigation

measures, water safeguard and quality improvements, rate control and volumes, and future pond expansion.

Traffic Impact Assessment

Alberta Transportation and Economic Corridors must endorse the provided TIA

Biophysical Impact Assessment

Developer is to provide impacts to Sheep River based on stormwater outfall and what measures will be undertaken to address and minimize these impacts and is responsible for obtaining all required regulatory approvals related to this development.

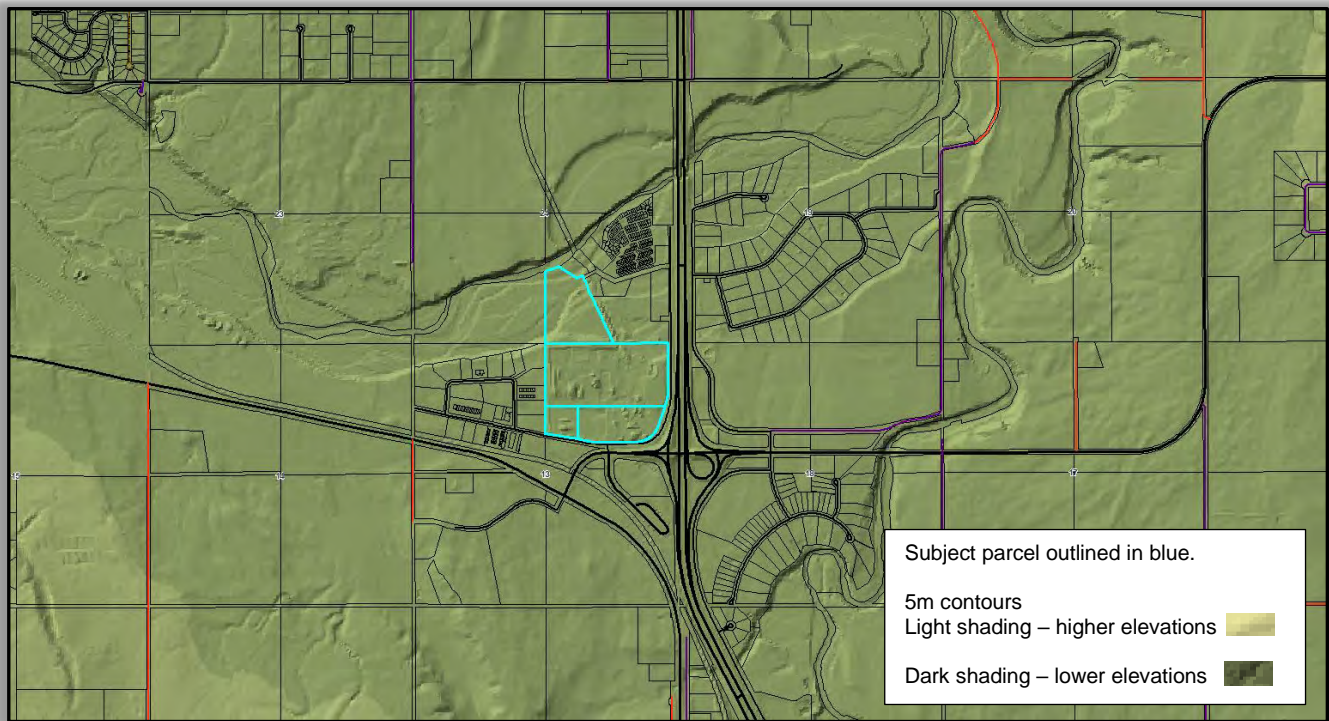
Historical Resource Impact Assessment

Approval from Historical Resources is to be provided

Environmental Site Assessment (Phase 1 and 2)

Impacted soils to be removed prior to development

PHYSIOGRAPHY



County's Contour Map

The geography of the subject parcel, as shown on the County's topography map above, is quite diverse, described by TRACE Associates within the provided Phase One Environmental Site Assessment as follows:

"The Site is relatively flat, with surface drainage directed to two storm ponds located in the northwest and central portions of the Site respectively. The Sheep River is located adjacent to the northwest boundary of the Site."

Areas of the site have been reclaimed and seeded to grass, largely along the east boundary with the south and west sides of the property in various stages of extraction or reclamation. The asphalt plant and its infrastructure is located along the far west boundary of the property and includes sand and gravel stockpiles, concrete partitions, two ponds, machinery storage and an office structure.

The northern portion of the development area as addressed in the Biophysical Impact Assessment provided by ISL Engineering identifies these lands to be a combination of tame pasture, balsam poplar and native grasslands, with cottonwoods and willows located within the lower elevations adjacent to the banks of the Sheep River.

MUNICIPAL POLICY EVALUATION

Staff provides a policy review summary at the end of the Policy Evaluation section of this report for Council's review.

Municipal Development Plan (MDP 2010)

Policies within the Economy section of the MDP provide that the Highway 2A Industrial Corridor is to accommodate the majority of new business development within the County, and further that proposals are to be compatible with the surrounding area, have appropriate water, wastewater and transportation infrastructure, minimize land use conflicts, and provide an efficient use of land.

Further, industrial and commercial development is encouraged to locate in existing and new industrial/commercial parks with industrial development, including natural resource extraction, discouraged near urban centres/hamlets or unique historical/environmental features. Mitigative measures are also to be undertaken in locating industrial developments in proximity to critical wildlife and fish habitats, or historical/archeological resources.

The Economy section additionally provides that development is also to enter into the appropriate development agreements, levies and contributions and provide such things as the existence of a proven water supply and wastewater disposal, stormwater, along with the appropriate transportation infrastructure.

Policies within the Environmental Conservation and Open Space section of the MDP 2010 outline that protective measures should be provided where a development would be located in or near wetlands, wildlife corridors, historical/archaeological resource sites, fish spawning grounds and nesting/feeding/staging areas for birds and may consider areas not suitable for development or areas within the 1:100 year floodway as Environmental Reserve or Reserve Easement. Development within the 1:100 year flood fringe is also discouraged.

The Environmental Conservation and Open Space section additionally provides that the Riparian Setback Matrix Model may be imposed by the County in order to determine the top of bank for water bodies where a bed and shore has not been determined and further to address development setbacks. Additionally identifying lands located within the 2013 Flood Hazard Protection Overlay for the overall development.

The Foothills Logistics Centre Outline Plan has been evaluated with respect to the County's MDP 2010 and is generally consistent with the goals and objectives stated within this Plan.

Growth Management Strategy (GMS)

The subject parcel is located within the Central District as noted within Foothills County's Growth Management Strategy. The vision for the Central District identifies this District as the growth engine for the MD with an expectation that this will continue into the future. While significant development and intensification of development is expected in this area, it will need to be undertaken bearing in mind the aspirations of our municipal neighbours and with due

consideration to riparian and wetland areas. Opportunities for joint initiatives will play a key role in providing effective, efficient and affordable services for this area.

The Foothills Logistics Centre Outline Plan has been evaluated with respect to the County's Growth Management Strategy (GMS) and is generally consistent with the vision for the Central District within this Strategy.

Highway 2A Industrial Area Structure Plan (H2AIASP)

The vision summary for the H2AIASP provides the Plan area is to ensure *“socially, economically, environmentally sound development opportunities exist for the residents and business that choose to locate in the 2A corridor.”* This is based on a number of specific goals and objective as set out in the Area Structure Plan.

Section 3.1.3 Environmental Features

The intent of this section is to provide the preservation and enhancement of the health and function of the river's and associated riparian and natural areas within the Plan boundaries.

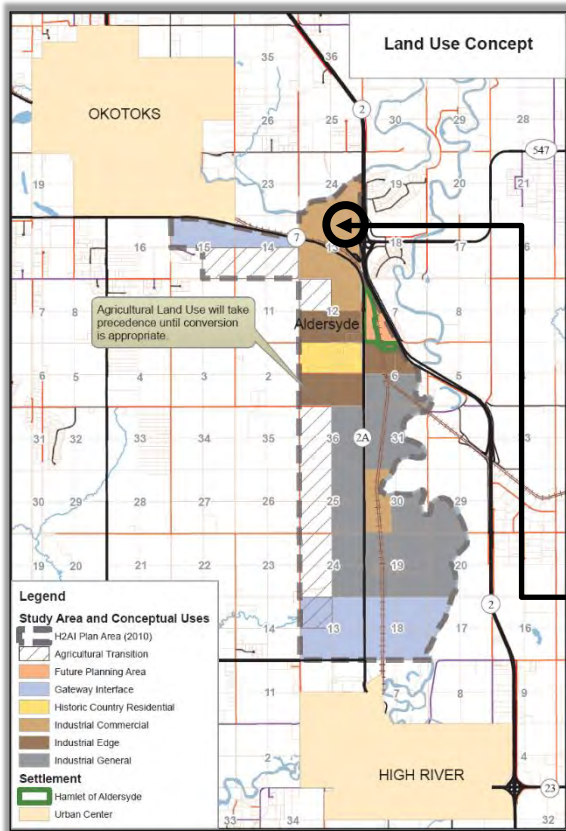
“In order to realize the visions, set forth through the collaborative efforts of municipal staff, project stakeholders, and the landowners, a categorized list of general goals and objectives for the plan area have been drafted. These goals and objectives are defined by their ability to preserve and enhance the social and cultural, environmental, and economic function of the corridor, based upon the foundation of sustainability and the Triple Bottom Line concept.”

The following sections of the overall ASP would be relevant to the proposed Foothills Logistics Centre Outline Plan:

Policy 3.1.3.2 – identifies the Sheep River and associated floodway and riparian areas are to be protected upon being identified by the municipality's RSMM

Section 3.1.5 Aggregate Resources

Policy 3.1.5.1 - provides that known aggregate resources should be extracted and reclaimed prior to subdivision and development occurring.



Section 3.2 Land Use Concept

Intent

The land use concept is intended to provide for the most logical development throughout the corridor, presented in such a way that ensures complementary and compatible land uses exist proximate to one another now and into the future.

The Outline Plan is generally in compliance with the H2AIASP land use concept in that it is located within an area proposed to be developed as Industrial Commercial.

Subject Parcel within Industrial Commercial Area of H2AIASP

Section 3.4 Industrial and Commercial

Section 3.4.1 Overall Corridor Development

Policies 3.4.1.1 through 3.4.1.5 of this section provide that industrial and commercial development is to be directed to areas considered suitable for such lands uses as identified in the map on the previous page, requiring all applications are to be accompanied by an Outline Plan, must meet the corridors Design Guidelines, require consideration of the impact of new development upon adjoining lands and overall are encouraged to provide low impact, low water use and environmental stewardship throughout the ASP.

Policy 3.4.1.5 Overall Corridor Development - This section does however require consideration of the proposed land uses adjacent to the existing asphalt plant as well as the proposed business uses as set out within this Policy.

Section 3.4.4 Industrial Commercial

Intent

The Industrial Commercial (IC) policy area is intended to allow industrial and certain commercial forms of development to take place proximate to one another in a manner that is mutually beneficial and complementary. IC policy areas will adhere to enhanced design and landscaping guidelines.

Policies 3.4.4.1 through 3.4.4.4 provide that Industrial Commercial (IC) development is to be the predominant development type in IC areas, with all industrial activity to be indoors with no outdoor storage and with Industrial activity to be accessory to Commercial activity.

The Outline Plan generally complies with this section of the H2AIASP as Business Park and Highway Commercial Districts would be the predominate development type as set out on 3.4.4.1 of this section.

However, provisions to allow the asphalt plant to remain on the site for 20 or more years may not be in compliance with Policies 3.4.4.2, 3.4.4.3 and 3.4.4.4, as outdoor storage is not permitted unless it can be screened in accordance with the County's Enhanced Design Guidelines and further with respect to industrial activity being accessory to commercial activity for the Industrial Commercial portions of the ASP.

Section 5.1 Open Space

Intent

Strategically planning the corridor's open space system is intended to ensure connectivity and functionality of such spaces for the benefit and enjoyment of all residents' businesses and visitors to the area.

Policies 5.1.1 through 5.1.4 of this section outlines that open spaces are to be provided upon logical connectivity to existing public lands, and should adhere to the ASP's pathway policies

The Outline Plan somewhat complies with this Section of the H2AASP as open space has been dedicated under Environmental Protection District and Municipal Land/Reserve District, however the Outline Plan does not provide connection of the proposed pathway system, interior to the development area, to adjacent developments.

Section 5.2 Environmental Reserve

Intent

Requiring Environmental Reserve dedications throughout the corridor provides for the preservation and protection of significant natural features and natural capital within the plan area. Specifically, those lands that meet the requirements of Section 664 of the Municipal Government Act will be considered for dedication by way of Environmental Reserve and/or Environmental Reserve Easement.

Policies 5.2.1 through 5.2.4 provide Environmental Reserve (ER) is to be provided as required under the Municipal Government Act and that the RSMM is to be employed in determination of setbacks for ER or ERE dedication.

The Outline Plan generally complies with this Section of the H2AASP as those lands considered environmentally sensitive have been considered under the Environmental Protection District. However, this Section of the ASP does set out that Environmental Reserve or Reserve Easement is to be provided in accordance with Section 664 of the Municipal Government Act with setbacks to the ER or ERE determined through employment of the County's RSMM

Section 5.3 Municipal Reserve

Intent

Addressing Municipal Reserve dedication ensures the logical dedication of lands or the value of lands that fall within the guidelines of Section 665 and 666 of the Municipal Government Act. Such lands may be used for the development of community recreational amenities or school sites and will be strategically placed to provide the greatest utility to residents, businesses, and visitors.

The Outline Plan somewhat complies with the policies within the Municipal Reserve section of the H2AASP whereby the Developer is proposing to provide MR under the designation of Municipal Land/Reserve District in a parcel surrounding the Public Utility Lot, however where dedication requirements are greater than 1.98 acres, a separate and developable Municipal Reserve parcel is to be provided on the Developer's site plan that it is to be connected to the Open Space provisions within the Development.

Should Council choose to require a developable MR parcel be provided for this development, revision to the applicant's site plan may be required. Staff is therefore seeking Council's direction with regards to the dedication of Municipal Reserve which will be needed to inform the Developer's detailed development concept.

Council may also choose to consider the contemplated Service District lot provided within the Developer's Outline Plan, as part of their decision.

Section 6.0 Servicing Infrastructure

Intent

Addressing servicing infrastructure ensures existing and future servicing and utilities throughout the corridor are developed and extended in a logical and efficient manner that is beneficial to all existing and future users.

The proposed water and wastewater servicing within the Outline Plan complies with the H2 AIASP policies, as the Plan area is proposed to be connected to Foothills County's regional water line infrastructure, with the Plan further outlining interim wastewater infrastructure is to be installed with provisions for connection to regional wastewater servicing when it becomes available. The Outline Plan also identifies that all off-site levies and connections with respect to this infrastructure will be provided as required.

Section 7.3 Pathways

Intent

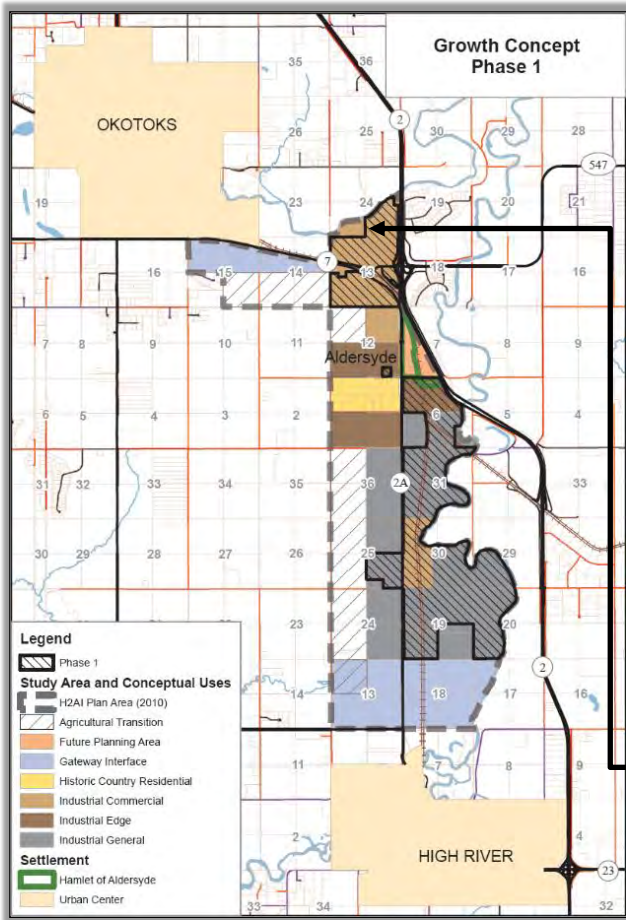
To address and plan for existing and future pathway connections within the plan area and inter-municipally. Connection to the Town of High River pathway system and the Town of Okotoks pathway system is integral to the regional connectivity of the corridor and will benefit residents and employees of the region through the provision of non-vehicular transit options for practical and recreational purposes.

The proposed pathway within the Outline Plan is somewhat compliant with the pathway policies within the H2AIASP however the conceptual plan in Figure 18 Open Space Concept does not connect the internal pathway development to the adjacent lands.

Section 9.0 The Environment

Through sound development principles, existing environmentally significant features within the plan area are preserved and enhanced. Residents and businesses are active in upholding the functionality of the corridor's natural capital. Consideration for the environment is supported through the H2AIASP for the benefit of all existing and future residents, businesses, and employees of the corridor and surrounding areas.

The Outline plan generally complies with the Environment policy within the H2AIASP providing protection measures for those lands adjacent to the Sheep River, with dedication proposed under the Environmental Protection District (EP). The EP District would not be consistent with the dedication of similar lands to the northeast and west of the application which are Environmental Reserves.



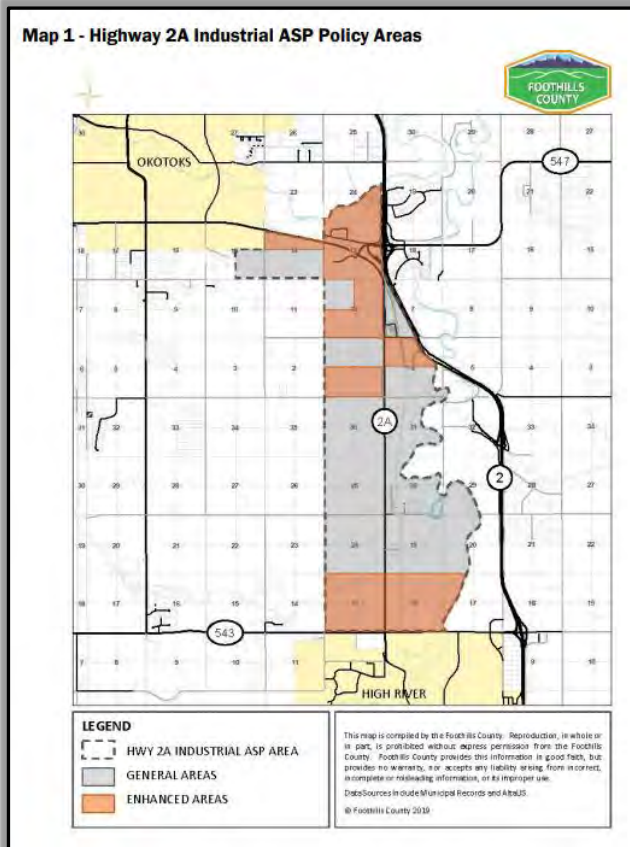
Section 10.1 Phasing

Intent

The purpose of a comprehensive phasing concept is to ensure the most logical and efficient development of the plan area into the future. Consideration for the existing developed areas of the corridor, available water resources, productive agricultural lands, and a need for the extension of servicing and infrastructure will provide a logical growth pattern.

The Outline Plan complies with the policies within the Phasing section of the H2AIASP as the development falls within Phase 1 of the Phasing Concept and further piped water is available to the Plan through connection of the Development to the County's piped water resource.

Subject Parcel falls within Phase 1 of H2AIASP Growth Concept



Enhanced Design Guidelines

The parcels within the Outline Plan are within an area of the Highway 2A Industrial Area Structure Plan (H2AIASP) that requires development to adhere to enhanced design guidelines that have been developed for *“more visible portions of the plan area and those areas adjacent to other forms of development.”*

These guidelines provide additional development requirements in areas of the ASP that are to be developed to a higher standard with a greater emphasis on the aesthetic aspects of the site design for such things as building design, landscaping, outbuildings, lighting, fencing, signage and utilities.

Growth Management Strategy (GMS)

The subject parcel is located within the Central District. The vision for the Central District identifies lands which fall within this District are expected to see intensified and significant development. Bearing in mind the aspirations of our municipal neighbors with due consideration to riparian and wetland areas. With joint initiatives playing a key role towards the provision of servicing for this area.

The Outline Plan is consistent with the vision of the Central District

Municipal District Of Foothills Land Use Bylaw (LUB)

The Outline Plan and Redesignation propose to provide Business Park and Highway Commercial development. The intent and purpose of both Districts are provided on the next page. All Districts contemplated, as provided within the County's Land Use Bylaw, are attached as part of Appendix D.

14.1 BUSINESS PARK DISTRICT

14.1.1 PURPOSE AND INTENT

To accommodate a combination of business and industrial activities within a comprehensively planned development in accordance with an approved area structure plan or outline plan.

Business parks are encouraged to be located within the Highway 2A corridor on lands covered by the Highway 2A Industrial Area Structure Plan in accordance with the Industrial Commercial land use concept.

Business Park district lands may be approved at the discretion of Council in other areas of the County in comprehensively planned areas in accordance with an approved Area Structure Plan or outline plan.

Uses secondary to business and industrial activity may provide personal services primarily to on-site employees and secondarily to local clientele. Any nuisances associated with such uses should generally not extend beyond the boundaries of the site. Some outside storage may be permitted.

The Outline Plan complies with intent of the Business Park District within the County's Land Use Bylaw with specific respect to its alliance with the requirements of the Highway 2A Industrial Area Structure Plan however does request variances to the permitted and discretionary uses and height restrictions as prescribed in this District within the County's Land Use Bylaw.

14.3 HIGHWAY COMMERCIAL DISTRICT

14.3.1 PURPOSE AND INTENT

To accommodate a diverse range of commercial uses along highways and major transportation corridors intended to provide services to the travelling public and tourists and include businesses that require a high degree of visibility and/or ease of access to transportation routes.

The Outline Plan complies with intent of the Highway Commercial District within the County's Land Use Bylaw with specific respect to its alliance with the requirements of the Highway 2A Industrial Area Structure Plan and the compatibility of the proposed development with the allowable permitted and discretionary uses within the County's Land Use Bylaw.

15.4 NATURAL RESOURCE EXTRACTION DISTRICT

15.4.1 PURPOSE AND INTENT

To accommodate industrial uses related to non-renewable natural resource extraction and processing. This District was formally named Industrial Natural Resource District and includes all lands zoned Industrial Natural Resource District in the County.

The Outline Plan generally complies with intent of the Natural Resource Extraction District within the County's Land Use Bylaw as it is compatible with the permitted uses and somewhat compatible with the discretionary uses within this District of the County's Land Use Bylaw.

17.4 MUNICIPAL LAND/RESERVE DISTRICT

17.4.1 PURPOSE AND INTENT

To allow for schools, parks, community facilities, and recreation facilities on municipally owned recreational or education properties, and land dedicated as school reserve, municipal school reserve, community reserve, public reserve, and reserve pursuant to the Municipal Government Act or its predecessors.

The Outline Plan generally complies with intent of the Municipal Land/Reserve District within the County's Land Use Bylaw as it is compatible with the permitted and discretionary uses within this District of the County's Land Use Bylaw. However the proposed Municipal Reserve in its current configuration may not be able to provide a number of the uses provided within this District.

16.3 ENVIRONMENTAL PROTECTION DISTRICT

16.3.1 PURPOSE AND INTENT

To provide for the preservation and protection of land determined to be environmentally significant. These lands may be owned or managed by the County, an individual landowner, condominium association, or public land trust and may require an Environmental Management Plan approved by the Approving Authority outlining the use and management of the lands.

The Outline Plan generally complies with intent of the Environmental Protection District within the County's Land Use Bylaw as it is compatible with the permitted and discretionary uses within the County's Land Use Bylaw, however, establishment of ownership and an environmental management plan may be required as condition of the subdivision.

POLICY REVIEW SUMMARY

The Developer's policy evaluation can be found in Section 4.0 Policy Alignment, on Pages 54 through 64 of the Outline Plan document, attached as Appendix E.

Overall, the proposal complies with the County's Land Use Bylaw and the H2AIASP, outside of some grammar and wordsmithing considerations and taking into account, the following:

Overall Compliance with H2AIASP

The Outline Plan generally aligns with the Highway 2A Industrial Area Structure Plan (H2AIASP) with the following to be considered by Council regarding the asphalt plant, municipal reserve and environmental reserve dedications:

- Provisions to allow the asphalt plant to remain on the site for 20 or more years may not comply with Policies 3.4.4.2, 3.4.4.3 and 3.4.4.4 of the Industrial Commercial section of the H2AIASP as outdoor storage is not permitted unless it can be screened in accordance with the County's Enhanced Design Guidelines and further with respect to industrial activity being accessory to commercial activity within Industrial Commercial portions of the ASP.
- The existing asphalt plant does not provide a compatible adjacent use to the proposed or existing adjacent business uses with respect to Policy 3.4.1.5 of the H2AIASP.
- The H2AIASP outlines the dedication of Municipal Reserve and Environmental Reserve lands are to be provided as prescribed within the Municipal Government Act. The Developer has chosen to provide ER under the Environmental Protection District and to provide MR under the Municipal Land/Reserve District. Environmental Protection District

may not be consistent with the dedication of similar lands along the Sheep River adjacent to Country Lane Estates and Warner Business Park which are Environmental Reserves.

- The Outline Plan does not provide connection of the interior pathway system, to the adjacent developments as required within the Open Spaces section of the H2AIASP. Additionally, connection of the pathway to the Highway system may not be an appropriate linkage for pedestrian travel.
- The Outline Plan does not provide a separate and developable MR parcel which is connected to the Open Spaces within the development, as set out in the Municipal Reserve section of the H2AIASP.

NOTE: With respect to Municipal Reserve dedication, the Developer has proposed to provide a Service District lot for the provision of a Regional Fire Hall within the Plan Area which Council may wish to consider with respect to reserves.

Overall Compliance with LUB

The Outline Plan generally aligns with the Business Park, Highway Commercial, Environmental Protection, Municipal Land/Reserve and Natural Resource Extraction Districts within the Land Use Bylaw (LUB) with the following to be considered by Council regarding the permitted and discretionary uses:

- Site specific amendments to the Business Park District would be required in order to allow the Business Park lots within the development to allow Business Office, Industrial, Storage and Warehousing, Industry, General, Industry Light, Manufacturing, Light, Warehousing and Storage, to be permitted uses for this development and to allow modification to the height restriction for this District, which may or may not be appropriate for this location.
- Discretionary uses as described within the Municipal Land/Reserve District may not be attainable due to the proposed lot configuration. (i.e schools, indoor recreation, emergency services).

NOTE: Consideration of the proposed Service District lot as provided by the Developer within the Outline Plan document, may offer resource for the discretionary uses within the Municipal Land/Reserve District as deemed necessary by Council.

- Permitted and Discretionary uses within the Natural Resource Extraction District may not be appropriate for the overall development of a Business Park (i.e. Dwelling, natural resource extraction and processing)

CIRCULATION REFERRALS	
REFEREE	COMMENTS
INTERNAL	
Public Works	<p>Recommendations and Comments from Public Works have been provided as tan highlighted notes throughout the staff report.</p> <p>Public Works Circulation comments are provided as follows:</p> <p>Outline Plan</p> <p>Policy revision recommendations:</p> <ul style="list-style-type: none"> • Abandoned wells on the site should be resolved as a condition of subdivision. Should issues arise with respect to the noted abandoned wells on the site that may be difficult to resolve at the development application stage.

CIRCULATION REFERRALS

- Illumination based on warrants etc., may be required in other areas of the overall development and not just this specified intersection (roundabout).
- Additional measures with respect to water quality may be necessary to ensure high quality stormwater is achieved such as pond design and oil and grease separators. Further details will be required with subdivision approval.

Overall Outline Plan recommendations:

- Proposed road ROW widths are 19.0m and 24.6m. Foothills County industrial/commercial road classification is typically a 30m ROW. Engineering will need to confirm that the required roadway can be constructed in the smaller ROW. A cross section will need to be provided to determine if the narrower width will pose issues for operations. If ditches are proposed, revision will be required, roads of this width in an industrial/commercial area typically have curb and gutter instead of ditches.

Additional water use of 625 m³/day as proposed by the Developer exceeds the spare capacity of Phase 1 of the Water Treatment Plant that is currently under construction. Phase 2 is being planned but its capacity will largely be used by Cargill (Approx. 1728m³/day vs. upgrade capacity of 3700-1700 = 2000 m³/day). It is suggested that the water needs of the development be reviewed further.

If internal fire hydrants are contemplated, a minimum lead of 150mm is required. Also, given previous discussions on desired fire flows from the Aldersyde system, this proposed single connection could be a significant limitation to desired onsite fire flows. The Concept plan suggests a 100mm service which may be too small if the building is to be sprinklered.

- The relatively high assumed water flow is translating into relatively high sanitary flows.
- When the subsequent 10 Ha of the existing INR parcels are developed, it appears that the stormwater pond active storage will need to be increased. (i.e., from about 14000m³ to 19-20,000m³). The proposed PUL may not be sufficient to accommodate this upgrade and may also affect the proposed MR dedication. A shadow plan with a stormwater management plan review may be required to verify that the future development phases can be accommodated in the Plans for the storm pond infrastructure and adjacent development.

Public works provides the advisory comment that should the suggested Building Lot Owners Association (BLOA) be dissolved, the County typically mows ditches twice a year, and trims trees as needed. If tree plantings die, they will not be replaced.

- Public Works will require an enhanced maintenance agreement, as well as a landscaping plan to be provided as conditions of subdivision.
- It is to be noted that Emergency access to Country Lane Estates is shown crossing lands to be dedicated as Municipal and Environmental Reserve as well as the Public Utility lot. Public Works provides allowing the emergency access through these parcels may allow it to be constructed to a lesser standard than regular road construction and could allow it to be locked and gated. Should emergency access be required to be developed within a dedicated road ROW, it would need to be constructed to municipal standards and could be gated but not locked.

CIRCULATION REFERRALS

- The Developer is advised that the Business Lot Owner's Association is responsible for all required maintenance and utility bills associated with any entrance features within the County's road right of way.

Utility Servicing Report:

- Calculating the water demand based on City of Calgary single story non-residential buildings may not be representative of the water demands at this development. The calculation is generating a very high proposed water consumption rate compared to what is known for existing users in the area. Additional information from other users within the 2A corridor such as the HWY2A ASP and actual water use from existing developments may be required.
- Additional review of fire flows is also required.
- Sewage generation will require additional review as the amount of anticipated sanitary flows could be higher than is expected. The expected flow, if accurate, will consume about 60% of the wastewater treatment plant capacity on opening day of this facility.
- Public Works recommends that the county owns and operates any infrastructure once the warranty period expires.
- The pump out location shown is proposed within the PUL lot and will need to ensure commercial standard asphalt is provided all the way to this location.

Stormwater Servicing Report:

- Public Works recommends that the county owns and operates any infrastructure once the warranty period expires.

Biophysical Impact Assessment:

- The proposed stormwater outfall will be to the Sheep River, and proposed stormwater outfall may have impacts on the river. Measures to minimize those impacts are to be provided and the developer is responsible for obtaining all required approvals from the appropriate regulatory body. (i.e. Alberta Environment and Protected Areas)

Phase 1 and 2 ESA:

- Impacted soil will need to be removed prior to development.

Public Works recommended conditions and comments regarding land use, subdivision and development are as follows:

Land Use recommended conditions:

- Conceptual Servicing to be provided, complete with estimated capacities
- Traffic Impact Assessment
- Geotechnical Report
- Stormwater Review based on Shadow Plan for anticipated expansion of storm pond with future development of INR lands

Subdivision recommended conditions:

- Development Agreement to be provided for water and wastewater utility servicing, stormwater management, internal/external transportation infrastructure, landscaping and pathway development,
- Road construction to County Industrial/Commercial road construction standards

CIRCULATION REFERRALS

	<ul style="list-style-type: none"> Engineered road design complete with estimates, LOC, and insurance Deferred Servicing Agreement to be provided for future wastewater services Contribution/levy provided for connection of the Development to the County's water and wastewater systems and transportation Landscaping and Maintenance Plan Construction Management Plan High Water Table Testing for Foundation Design Stormwater Management Plan Building envelopes <p>Development recommended conditions:</p> <ul style="list-style-type: none"> Lot grading/drainage plan <p>Public Works provides the following additional comments:</p> <p>No concerns with respect to the proposed road closure application.</p> <p>Road closure completion should be required prior to the subdivision registration.</p>
Foothills Fire Department	<p>Foothills Fire Department provides the following comments regarding the future development of the overall Outline Plan with respect to fire requirements under the Alberta Building Code:</p> <p>Access and Road design: Roads are to be wide enough and well maintained to accommodate large fire trucks and emergency vehicles.</p> <p>Water Supply and Hydrant Placement: A reliable and sufficient water supply to fight fires is required. Hydrants should be strategically placed to ensure firefighters have easy access to water.</p> <p>Building Codes and Fire-Resistant Materials: Fire-resistant materials are to be used in compliance with building codes to minimize the risk of fires spreading quickly.</p> <p>Fire Suppression Systems and Sprinkler Systems: New commercial developments to have functioning fire suppression systems and sprinkler systems to help control fires and reduce damage.</p> <p>Emergency Vehicle Access and Parking: Ensure that emergency vehicles can access buildings and parking areas easily, and that there is sufficient parking for fire trucks and other emergency vehicles.</p> <p>Loading and Unloading Areas: Ensure the safety of loading and unloading areas, particularly if they are near fueling stations, propane storage, or other hazardous materials.</p> <p>High-Hazard Occupancies: Identification of High-hazard occupancies, such as businesses that handle hazardous materials, fueling stations, or high-rise buildings, which require special firefighting procedures.</p> <p>Emergency Communication Systems: New commercial developments shall have reliable emergency communication systems, such as public addressing systems, fire alarm systems.</p> <p>Fire Department Access to Buildings: Access to buildings, including keys, lockboxes, or other security measures, including key holder information to facilitate rapid response and minimize damage.</p> <p>Adequate Fire Flow and Pressure: Ensure that there is adequate fire flow and water pressure to support firefighting operations.</p>

CIRCULATION REFERRALS

	<p>Fire Lane Maintenance: Provision and regular maintenance of fire lanes to ensure that they are clear of obstacles and can be used for emergency access.</p> <p>Hazardous Materials Storage: Storage of hazardous materials, such as chemicals, fuels, or propane, and need to ensure that they are stored and handled safely.</p>
Community and Emergency Services	<p>Community and Emergency Services provide the following comments on the proposed Outline Plan:</p> <ul style="list-style-type: none"> • No saleable Municipal Reserve is provided as is required under Policy 5.3.3 within the H2A/ASP. As per the County's Land Use Bylaw (LUB) the proposed Municipal Reserve parcel does not appear to be developable. • The trails proposed within the Environmental Reserve should be natural and not surfaced. • Parking areas denoted on the west side of the Municipal reserve should be integrated with the road access to the Public Utility lot on the east side of the Municipal Reserve to maximize usable space. • Roadside screening should not be in the municipal road right of way due to maintenance and utility considerations. All landscaping trees, shrubs and beds should be on private property and should not be the responsibility of the municipality.
EXTERNAL	
ATCO Gas	Response attached as part of Appendix C
Town of Okotoks	Response attached as part of Appendix C
Town of High River	Response attached as part of Appendix C
Alberta Transportation and Economic Corridors (ATEC)	Response attached as part of Appendix C
PUBLIC	
Western Wheel	February 18 th and February 25 th , 2026, editions.
Landowners	No letters received prior to submission of the staff report

SUMMARY

Request to Approve the Foothills Logistics Outline Plan

Council consideration of a resolution to adopt the Foothills Logistics Outline Plan which is to inform the future development of a business park within a 142.89 acre portion of Lot 2, Block 4, Plan 1213109, Ptn: NE 13-20-29-W4M, Lot 3, Block 4, Plan 1311304, Ptn: NE 13-20-29-W4M, Plan 9410556, Block 2, Ptn: SE 24-20-29-W4M and the remainder of Ptn: NE 13-20-29 W4M.

Request to Approve Land Use Redesignation and Site Specific Amendments

Bylaw XX/2026 – Council to consider amending the Land Use Bylaw by authorizing the redesignation of Plan 1213109, Block 4, Lot 2 and a portion of NE 13-20-29 W4M from Natural Resource Extraction District (INR) to Business Park (BP) and Highway Commercial (HC)

Districts, with a Natural Resource Extraction District (INR) balance. The application includes a Site Specific amendment to the Business Park (BP) District, Section 14.1.6.5, to allow for the maximum height of a structure to be 16 m; and amendment to Section 14.1.3 of the Business Park (BP) District to allow the following Discretionary uses to be changed to Permitted uses: Business Office, Industrial, Storage and Warehousing, Industry, General, Industry Light, Manufacturing, Light, Warehousing and Storage.

And to further consider amending the Land Use Bylaw by authorizing the redesignation of Plan 9410556, Block 2, Ptn. SE 24-20-29 W4M from Recreation District (REC) to Environmental Protection (EP), Public Utility (PUL) and Municipal Land/Reserve (MLR) Districts.

OPTIONS FOR COUNCIL CONSIDERATION

RESOLUTION - ADOPTION OF FOOTHILLS LOGISTICS CENTRE OUTLINE PLAN

OPTION #1 – APPROVAL

Should Council agree that the proposed Outline Plan has merit, is consistent with the existing regional and municipal policy frameworks and no significant planning considerations have been brought forward through the public hearing that cannot be resolved through the planning process; Council may wish to grant a resolution, adopting the Foothills Logistics Centre Outline Plan which is to guide the future development of a business park including Business Park District Highway Commercial District and Natural Resource Extraction District lots with a Municipal Land/Reserve District parcel, an Environmental Protection District parcel and a Public Utility Lot on the subject lands.

RECOMMENDED CONDITIONS FOR OPTION #1:

- 1) Applicant is to provide text amendments for the Outline Plan document, in addition to any items which may be directed by Council, all to be provided to the satisfaction of Council;
- 2) Council direction to be provided regarding the dedication of Municipal Reserve;
- 3) Final Outline Plan application fees to be submitted.

OPTION #2 - POSTPONE APPLICATION

Should Council feel that they require additional information prior to rendering a decision; Council may wish to postpone the application for consideration of the Foothills Logistics Centre Outline Plan.

NOTE: Council may wish to provide direction with respect to any amendments to the Outline Plan they deem necessary to address issues that may be brought forward as part of the public hearing process and/or to address alignment within the appropriate District's within the County's Land Use Bylaw prior to the Plan approval.

OPTION #3 - REFUSE APPLICATION

Should Council feel that the application does not have sufficient merit, is not consistent with the existing regional and municipal policy framework or significant planning considerations have been brought forward which Council does not feel can be resolved through the planning process, Council may wish to refuse the application for the Foothills Logistics Centre Outline Plan.

LAND USE REDESIGNATION AND SITE SPECIFIC AMENDMENT

OPTION #1 – APPROVAL

Should Council support the accompanying application for the land use redesignation and site specific amendments that are required to enable the implementation of the Foothills Logistics Centre Outline Plan.

Council may choose to grant first reading to Bylaw XX/2026 authorizing the redesignation of Plan 1213109, Block 4, Lot 2 and a portion of NE 13-20-29 W4M from Natural Resource Extraction District (INR) to Business Park (BP) and Highway Commercial (HC) Districts, with a Natural Resource Extraction District (INR) balance. The application includes a Site Specific amendment to the Business Park (BP) District, Section 14.1.6.5, to allow for the maximum height of a structure to be 16 m; and amendment to Section 14.1.3 of the Business Park (BP) District to allow the following discretionary uses to be changed to permitted uses: Business Office, Industrial, Storage and Warehousing, Industry, General, Industry Light, Manufacturing, Light, Warehousing and Storage.

Council may further choose to consider amending the Land Use Bylaw by authorizing the redesignation of Plan 9410556, Block 2, Ptn. SE 24-20-29 W4M from Recreation District (REC) to Environmental Protection (EP), Public Utility (PUL) and Municipal Land/Reserve (MLR) Districts.

Council in their consideration of the criteria within the Municipal Government Act, and the Foothills County's Municipal Development Plan, Land Use Bylaw, and Growth Management Strategy, is of the opinion that the proposed Land Use Redesignation for future subdivision of the subject lands as contemplated within the Foothills Logistics Centre Outline Plan, is compatible with the surrounding area, and will not unduly interfere with neighbouring land uses or materially interfere with or affect the use, enjoyment, or value of neighbouring properties.

Recommended Conditions for Option #1:

1. Final approval granted to the Foothills Logistics Outline Plan
2. Applicant is to provide the anticipated potable water demands, wastewater generation and water capacity for firefighting purposes necessary to service the development, to the satisfaction of Public Works;
3. Conceptual Servicing to be provided, complete with estimated capacities;
4. Traffic Impact Assessment to be provided to the satisfaction of Alberta Transportation and Economic Corridors and Foothills County public works department;
5. Stormwater Management Shadow Plan and Review;
6. Final Land Use application fees are to be submitted;

NOTE: The applicant is advised that additional conditions may be contemplated prior to 2nd reading for the land use redesignation and that any conditions of land use completed prior to adoption of the Outline Plan are at the developer's risk and cost.

OPTION #2 - POSTPONE APPLICATION

Should Council feel that they require additional information prior to rendering a decision; Council may wish to postpone the application for redesignation.

OPTION #3 - REFUSE APPLICATION

Should Council feel that the application does not have sufficient merit, is not consistent with the existing regional and municipal policy framework or if significant planning considerations

have been brought forward which Council does not feel can be resolved through the planning process, Council may wish to refuse the application for redesignation.

APPENDICES

APPENDIX A: MAP SET:

LOCATION MAP

HALF MILE MAP – LAND USE

SITE PLAN – PROPOSED LAND USE

SITE PLAN - ILLUSTRATIVE CONCEPT PLAN

AERIAL IMAGERY (2024)

APPENDIX B:

PROPOSED BYLAW (REDESIGNATION AND SITE SPECIFIC AMENDMENTS)

APPENDIX C:

CIRCULATION RESPONSES

APPENDIX D:

BUSINESS PARK DISTRICT

HIGHWAY COMMERCIAL DISTRICT

ENVIRONMENTAL PROTECTION DISTRICT

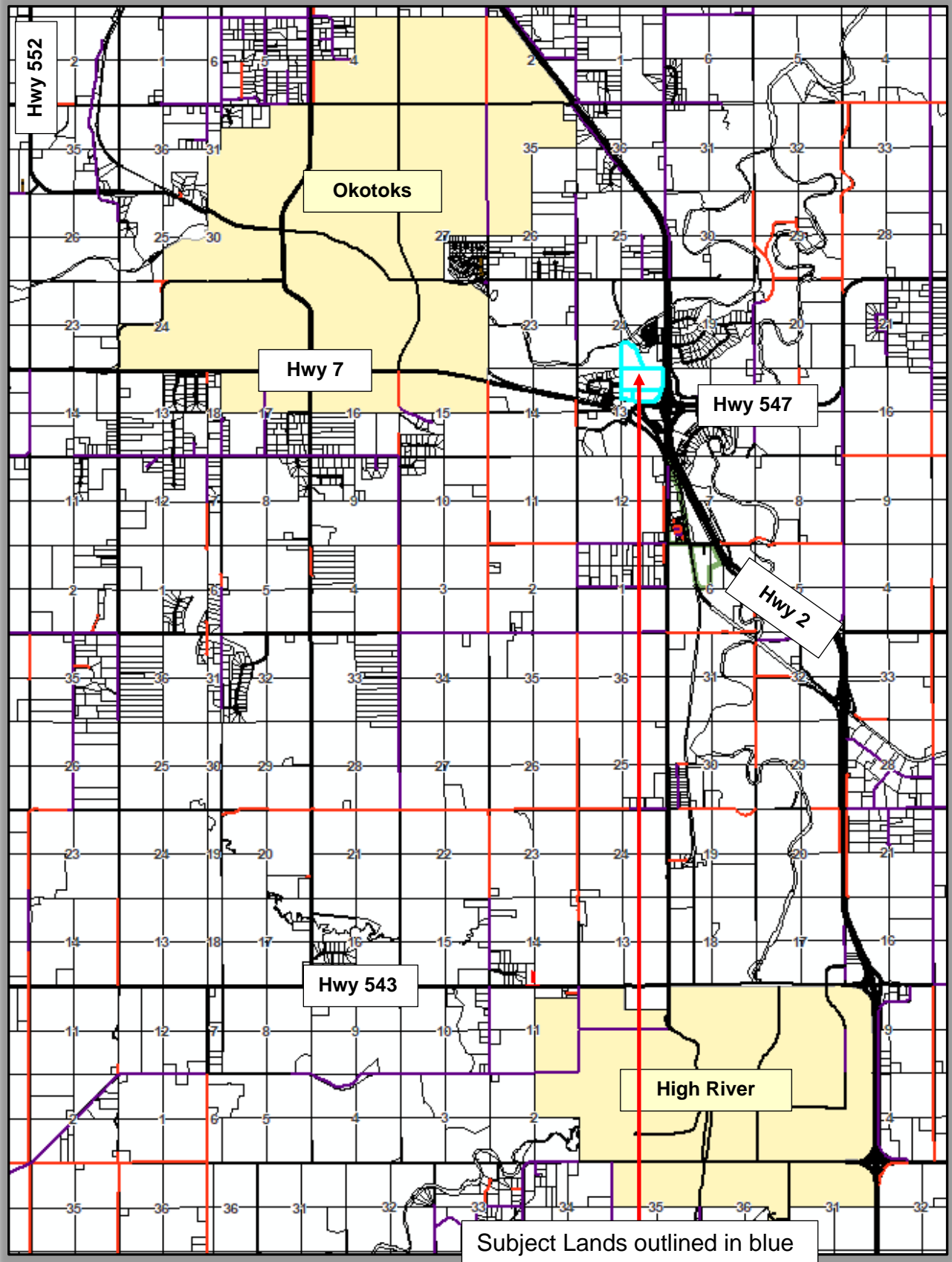
MUNICIPAL LAND/RESERVE DISTRICT

APPENDIX E:

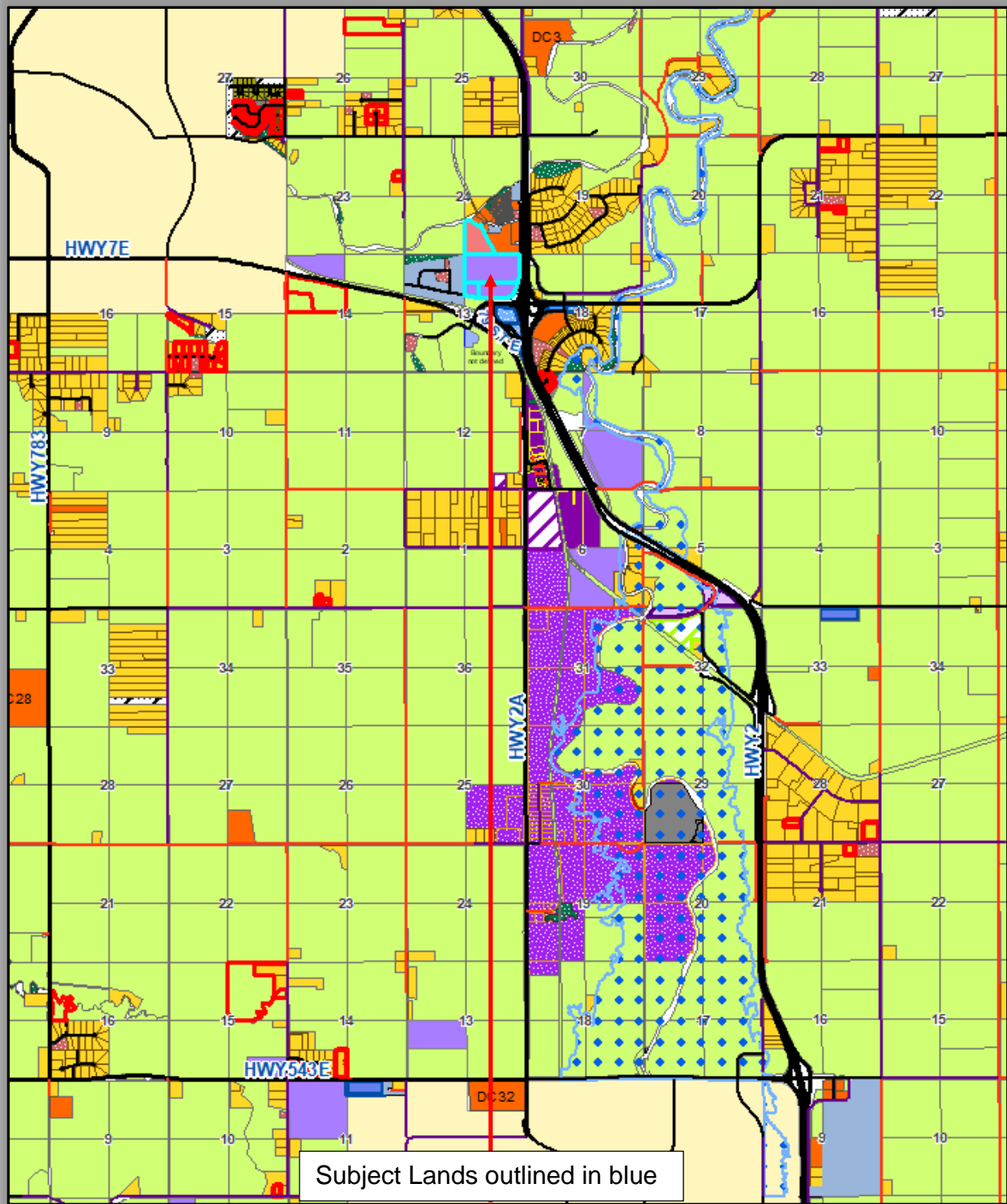
OUTLINE PLAN AND APPENDICES

APPENDIX A: MAP SET

LOCATION MAP



APPENDIX A: LAND USE MAP



Subject Lands outlined in blue

Airport Protection Overlay	A- Agricultural	ER- Environmental Reserve	PUL- Public Utility
Flood Hazard Protection Overlay	AA- Agricultural Sub A	EP- Environmental Protection	RC- Residential Community District
LUpartial	AB- Agriculture Business	IE- Industrial Edge	RCA- Residential Community Sub-district "A"
DC	BP- Business Park	INR- Natural Resource Extraction	SD- Service District
GI	CMC- Community Commercial	GI- General Industry	In Transition
HC	HC- Highway Commercial	HMI- Hamlet Industry	Parcels
INR	RB- Rural Business	LIID- Low Intensity Industry District	Settlement
PUL	CR- Country Residential	MLR- Municipal Land/Reserve District	Hamlet
	CRA- Country Residential Sub A	MR- Municipal Reserve	Town
	DC- Direct Control	REC- Recreation	Townships
			World_Hillshade

APPENDIX A: SITE PLAN – PROPOSED LAND USE

FIGURE 22 | PROPOSED LAND USE



APPENDIX A: ILLUSTRATIVE CONCEPT PLAN

FIGURE 29 | ILLUSTRATIVE CONCEPT PLAN



APPENDIX A: COUNTY'S AERIAL IMAGERY (2024)



BYLAW XX/2026

BEING A BYLAW OF FOOTHILLS COUNTY TO AUTHORIZE AN AMENDMENT TO THE LAND USE BYLAW NO. 60/2014; AS AMENDED.

WHEREAS pursuant to the provisions of the Municipal Government Act, Chapter M-26 Revised Statutes of Alberta 2000, and amendments thereto, the Council of Foothills County (hereinafter called the "Council") in the Province of Alberta, has adopted Land Use Bylaw No. 60/2014 and amendments thereto;

AND WHEREAS the Council has received an application to further amend the Land Use Bylaw by authorizing the redesignation of Plan 1213109, Block 4, Lot 2 and a portion of NE 13-20-29 W4M from Natural Resource Extraction District (INR) to Business Park (BP) and Highway Commercial (HC) Districts, with a Natural Resource Extraction District (INR) balance. The application includes a Site Specific amendment to the Business Park (BP) District, Section 14.1.6.5, to allow for the maximum height of a structure to be 16 m; and amendment to Section 14.1.3 of the Business Park (BP) District to allow the following Discretionary uses to be changed to Permitted uses: Business Office, Industrial, Storage and Warehousing, Industry, General, Industry Light, Manufacturing, Light, Warehousing and Storage.

AND WHEREAS the Council has received an application to further amend the Land Use Bylaw by authorizing the redesignation of Plan 9410556, Block 2, Ptn. SE 24-20-29 W4M from Recreation District (REC) to Environmental Protection (EP), Public Utility (PUL) and Municipal Land/Reserve (MLR) Districts.

AND WHEREAS Council has held a public hearing as required by Section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26, as amended:

NOW THEREFORE THE COUNCIL ENACTS AS FOLLOWS:

1. Land Use Map 2029 is amended by the redesignation of Plan 1213109, Block 4, Lot 2 and a portion of NE 13-20-29 W4M from Natural Resource Extraction District (INR) to Business Park (BP) and Highway Commercial (HC) Districts, with a Natural Resource Extraction District (INR) balance.
2. Land Use Map 2029 is amended by the redesignation of Plan 9410556, Block 2, Ptn. SE 24-20-29-W4M from Recreation (REC) District to Environmental Protection (EP), Public Utility (PUL) and Municipal Land/Reserve (MLR) Districts.
3. Under SECTION 14.1 BUSINESS PARK DISTRICT, the following shall be added:
 - a. *Under Section 14.1.6.5 on Plan 1213109, Block 4, Lot 2 and a portion of NE 13-20-29 W4M to allow for the maximum height of a structure to be 16 m;*
 - b. *Under Section 14.1.3 on Plan 1213109, Block 4, Lot 2 and a portion of NE 13-20-29 W4M to allow for the following Discretionary uses to be changed to Permitted Uses: Business Office, Industrial, Storage and Warehousing, Industry, General, Industry Light, Manufacturing, Light, Warehousing and Storage.*
4. This Bylaw shall have effect on the date of its third reading.

FIRST READING:

Reeve

CAO

February 4, 2026

Circulation Package: 26R001

The Distribution Engineering Growth Department of ATCO Gas Distribution has reviewed the above named plan and approves the work provided the following conditions are met:

There are existing ATCO facilities in the area. If it should be necessary to lower, relocate or make any alterations to the existing facilities and/or appurtenances due to this project, please contact ATCO Gas Distribution at calgaryregiongasdesign@atcogas.com with a minimum of one (1) year notice to enable an adequate and timely response. Note that all alteration costs will be borne by the developer / owner. If existing ATCO facilities within a registered easement or URW are being impacted (facility crossing and/or vehicle and equipment crossings), please contact the ATCO Land Group at Crossings@atco.com to obtain a crossing/proximity agreement.

There are abandoned ATCO facilities in the work area. Please contact ATCO South Operations Dispatch at 403-245-7220 to confirm status of the gas lines at least 48 hours prior to excavation.

If gas service is required, to avoid delays, the owner / developer should follow the steps listed on the ATCO website ([New Natural Gas Service Line or Changes](#)) or contact ATCO Customer Assistance Centre at 310-5678, or their local ATCO Gas Distribution agency office at their earliest convenience to discuss the service contract, gas load requirements, timing details and any associated costs. To avoid delays a minimum notice of 6 months is recommended. Note, each lot / unit is to have a separate service line.

For further information and requirements for natural gas servicing, please refer to the "Guide to Natural Gas Servicing" found on the ATCO website. Applications for new services residential or commercial please view our [ATCO Quick Connect Guide](#).

There is an existing ATCO service in the area. If it should be necessary to lower, relocate, or make any alteration to our existing service due to this proposal, please view our , please view our [ATCO Quick Connect Guide](#) and apply through [Quick Connect](#). Note that all alteration costs will be borne by the developer / owner. If the existing service line requires demolition or cutback please submit a request through [Quick Connect](#) or email GasApplicationsCalgary@atco.com for more information.

This development may benefit from ATCO's Construction Energy Services. Contact NaturalgasSales@atco.com or visit our [Construction Energy Webpage](#) for more information.

It will always remain the responsibility of the proponent to verify the exact location and depths of

nearby facilities by arranging for an in-field location with Utility Safety Partners at 1-800-242-3447 or utilitiesafety.ca. Please contact Utility Safety Partners prior to any surface construction.

- (1) Utility Safety Partners (1-800-242-3447) for locates to verify the alignment of the existing gas facilities.
- (2) Contact ATCO South Operations Dispatch at 403-245-7220 for an inspection of the exposed lines (including hydrovac holes) prior to backfill. Inspection services are available Monday to Friday, 8am – 4pm.
- (3) Hydrovac or hand expose facilities to verify horizontal and vertical alignment of all gas mains in conflict areas. This should be done as soon as possible to determine if the main will need to be relocated.
- (4) If existing gas mains require lowering or relocation due to the proponent's project, notification must be given to our ATCO Gas Distribution Engineering Department with a minimum of one (1) year notice. Forward plans and requirements to the ATCO Gas Distribution Engineering Department at 909 – 11th Ave. SW Calgary, AB, T2R 1L8.

Please refer to the "[Working Around Natural Gas](#)" Safety Handbook found on our website.

These conditions are not meant to contradict any applicable existing law (ie. franchise agreement, bylaw, etc.), and therefore the existing applicable law shall prevail. Should any condition(s) be null or void due to the superseding applicable law, all other conditions shall prevail.

If you have any **questions or concerns regarding this reply**, please contact: Shaggy Asomugha, Shaggy.Asomugha@atco.com.

Kind regards,

Alix Gregoraschuk (she/her)
Administrative Coordinator, Distribution Engineering Growth
ATCO Gas & Pipelines

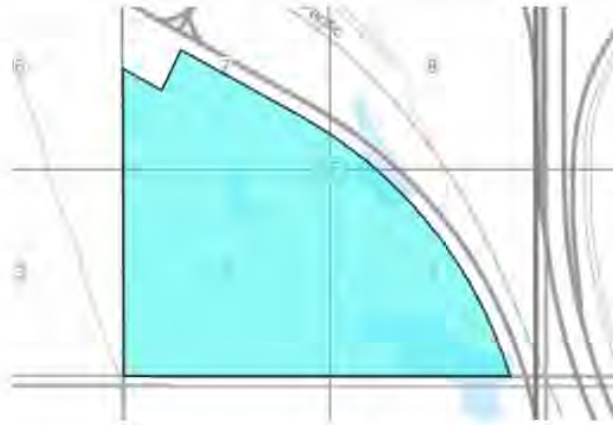
P. 403 476 0626
A. 909 11th Ave SW Calgary, AB Canada T2R 1L8



Transportation and Economic Corridors Notice of Referral Decision

Land Use Bylaw Amendment in Proximity of a Provincial Highway

Municipality File Number:	25R053	Highway(s):	2A, 7, 547, 25305
Legal Land Location:	QS-SE SEC-13 TWP-020 RGE-29 MER-4	Municipality:	Foothills County
Decision By:	Gerry Benoit	Issuing Office:	Southern Region / Calgary
Issued Date:	September 26, 2025	AT Reference #:	RPATH0060209
Description of Development:	Adoption of the Western Gateway Outline Plan and concurrent redesignation. The redesignation application proposes to rezone the portion of the subject 82.17 acre parcel that is zoned Agricultural to Highway Commercial District (HC) and Business Park District (BP) to allow for the development and future subdivision of 46 BP lots and 5 HC lots. The application also proposes 3 Municipal Reserve parcels and 1 Public Utility lot. The balance parcel that contains the existing Western RV Sales and Storage Facility is intended to remain zoned as Highway Commercial District.		



This will acknowledge receipt of your circulation regarding the above noted proposal. Transportation and Economic Corridors primary concern is protecting the safe and effective operation of provincial highway infrastructure, and planning for the future needs of the highway network in proximity to the proposed Outline Plan and land use amendments.

Transportation and Economic Corridors offers the following comments and observations with respect to the proposed Outline Plan and land use amendments:

1. After review, Alberta Transportation and Economic Corridors has no concerns, or objections with the proposed Outline Plan and land use redesignation. However, the department does provide the following comment with regards to the Outline Plan.
2. Transportation and Economic Corridors has no plans to accommodate a pathway in the highway right-of-way, as indicated in Figure 7. The pathway should be linked via municipal reserves and/or on local roads. The consultant was advised of this concern.
3. Pursuant to Section 618.3(1) of the Municipal Government Act (MGA), the department expects that the municipality will comply with any applicable items related to provincial highways in an ALSA plan if applicable.
4. Pursuant to 618.4(1) of the Municipal Government Act, the department expects that the Municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, in accordance with Policy 7 of the Provincial Land Use Policies.

This will acknowledge receipt of your circulation regarding the above noted proposal. The subsequent subdivision applications would be subject to the requirements of Sections 18 and 19 of the Matters Related to Subdivision and Development Regulation (The Regulation), due to the proximity of Highway(s) 2A, 7, 547.

Transportation and Economic Corridors offers the following comments with respect to this application:

The requirements of Section 18 of the Regulation are not met. The department anticipates minimal impact on the highway from this proposal. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors is prepared to grant approval for the subdivision authority to vary the requirements of Section 18 of the Regulation, at the time of future subdivision.

The requirements of Section 19 are met; therefore, no variance of Section 19 of the Regulation would be required, at the time of future subdivision.

If there are any changes to the proposed subdivision that was submitted with this land use referral, a separate referral pursuant to Section 7(6)(d) of the Matters Related to Subdivision and Development Regulation is required and the comments in respect of Sections 18 and 19 of the Regulation contained in this decision are no longer valid.

Please contact Transportation and Economic Corridors through the [RPATH Portal](#) if you have any questions, or require additional information



Issued by **Gerry Benoit, Development & Planning Tech**, on September 26, 2025, on behalf of the Minister of Transportation and Economic Corridors



Planning & Urban Design

planning@okotoks.ca | Phone: (403) 995-2760

January 29th, 2026

Theresa Chipchase
Planning Officer
309 Macleod Trail
High River, Alberta T1V 1M7

Dear Ms. Chipchase,

RE: Foothills County Circulation for Redesignation File #26R001

Thank you for providing the opportunity to comment on Foothills County File #26R001 for a proposed new Outline Plan within the Highway 2 Industrial Area Structure Plan (H2IASP).

While overall the Town is supportive of this development and industrial developments within an ASP-approved industrial corridor such as Highway 2, there are a few amendments to the Outline Plan that are respectfully requested to be made prior to this being considered by Foothills County Council.

Specific Policy Change Request:

Section 3.6 (Page 52) notes: *Primary fire response within the Outline Plan area is expected to be provided from the Town of Okotoks with secondary response from the Town of High River.*

The Town cannot support a policy in a Foothills County document that assigns operational responsibility to the Town of Okotoks without mutual agreement or consideration of existing service arrangements. Please revise the statement that identifies the Town as the primary fire response provider.

General Comment:

This development is in close proximity to the Town of Okotoks industrial developments in the southeast portion of Town. Connectivity through river valley pathways and an open space network for multi-modal commuters as well as utilizing and connecting on transportation infrastructure along this corridor with considerations to integration between the Town and County is encouraged as this development builds out.

P.O. Box 20, Station Main, 5 Elizabeth St. Okotoks, AB, T1S 1K1

☎ 403-938-4404



Sincerely,

Colton Nickel

Colton Nickel
Senior Planner & Intergovernmental Liaison
Town of Okotoks

APPENDIX C: CIRCULATION RESPONSES – TOWN OF HIGH RIVER



309B Macleod Trail SW
High River, Alberta Canada T1V 1Z5
P: 403.652.2110 F: 403.652.2396
www.highriver.ca

February 3, 2026

EMAILED

Foothills County
309 Macleod Trail
High River, AB
T1V 1M7

theresa.chipchase@foothillscountyab.ca

Attention: Theresa Chipchase

RE: Comments for Foothills County Referral 26R001 – Redesignation and Outline Plan
Legal description: NE-13-20-29-W4M | Block 2, Plan 941 0556 | Lot 2, Block 4, Plan 121
3109 | Lot 3, Block 4, Plan 131 1304

Thank you for providing the Town of High River with the opportunity to review and comment on redesignation application and outline plan 26R001, regarding the redesignation of the lands from Natural Resource Extraction and Recreation to Business Park, Highway Commercial, Natural Resource Extraction, Environmental Protection, Municipal Reserve, and Public Utility Lot to facilitate the development of the Logistics Outline Plan.

It is noted that the proposed water and wastewater services are to be provided from Foothills County and is not immediately available. Could you clarify if the interim solution relies on services from the Town of High River?

Given that the development is situated within the Highway 2A Industrial ASP area, we would like to highlight Policy 3.4.1.9, which encourages low water use development (defined as 330 imperial gallons per acre per day or less) throughout the corridor. The water usage in the proposed Outline Plan area is approximately three times this amount at 7.24 litres per second. This increased water demand is highlighted so we can further understand potential implications for, and any reliance on, Town of High River services.

Should you have any questions or require additional information, please do not hesitate to contact the undersigned.

Respectfully,

Michelle Dollmaier, B.Sc.
Planner
Town of High River
Phone: 403.603.3523 | Email: mdollmaier@highriver.ca

SECTION 14 COMMERCIAL DISTRICTS

14.1 BUSINESS PARK DISTRICT

BP

14.1.1 PURPOSE AND INTENT

To accommodate a combination of business and industrial activities within a comprehensively planned development in accordance with an approved area structure plan or outline plan. Business parks are encouraged to be located within the Highway 2A corridor on lands covered by the Highway 2A Industrial Area Structure Plan in accordance with the Industrial Commercial land use concept. Business park district lands may be approved at the discretion of Council in other areas of the County in comprehensively planned areas in accordance with an approved Area Structure Plan or outline plan.

Uses secondary to the business and industrial activity may provide personal services primarily to on-site employees and secondarily to local clientele. Any nuisances associated with such uses should generally not extend beyond the boundaries of the site. Some outside storage may be permitted.

14.1.2 GENERAL REQUIREMENTS:

- 14.1.2.1 Refer to Section 4.2 "No Development Permit Required" in the Land Use Bylaw for uses not requiring a development permit.
- 14.1.2.2 Refer to Section 9 and Section 10 respectively for the general and specific land use regulations and provisions that apply to this District.

14.1.3 PERMITTED USES	14.1.4 DISCRETIONARY USES
Amenity spaces for pedestrian use Public works Signs not requiring a development permit Solar Power System, Private (Not requiring a Development Permit) Utility services, minor	<u>Accessory uses</u> <u>Agricultural processing and Distribution</u> <u>Agricultural support services</u> <u>Amusement and entertainment services</u> <u>Animal care services</u> <u>Auto body</u> Auto repair Auto sales Business office Car/ truck wash Commercial school or college Commercial storage Contractor, general Contractor, limited Convenience store Drinking Establishment Dwelling, temporary (accessory to principal use) Farm equipment sales and service Financial services Food service, drive in

Foothills County Land Use Bylaw

14.1.3 PERMITTED USES	14.1.4 DISCRETIONARY USES
	Government Services Health care services Industry, General Industry, Light Industrial, Manufacturing/Processing Industrial, Storage and Warehousing Intensive vegetation operation Manufacturing, light Lot grading Outdoor storage Personal service establishments Protective and emergency services Public and quasi-public installation and facilities Public market Recreation, indoor Recreation, outdoor Recreational Vehicle Sales Recreation vehicle storage Recycling collection point Restaurant Retail garden centre Retail store Service station Signs requiring a development permit Solar Power System, Private (Requiring a Development Permit) Storage compound (accessory to principal use) Warehousing and storage

14.1.5 LAND USE REQUIREMENTS

- 14.1.5.1 A person who wishes to subdivide land in this district into additional lots must first apply for and be granted approval of a land use bylaw amendment.
- 14.1.5.2 In order to facilitate the purpose and intent of this district and ensure the sustainable development of business park uses within the District, the following applies to applications for subdivision:
- a. Parcel Density:
 - i. Parcel density requirements shall be determined by the Approving Authority, and if applicable, in accordance with an approved area structure plan or outline plan.
 - b. Minimum Parcel Size:
 - i. 929.0 m² (10,000 ft²) for lots serviced by a municipal or communal piped sewer and water system.
 - ii. 1,858 m² (20,000 ft²) for lots serviced by a piped water system, and an advanced package sewage treatment system; or

- iii. The area in title at the time of passage of this Bylaw, whichever is greater; or
 - iv. The minimum parcel size may be amended by the Approving Authority in accordance with an approved area structure plan or outline plan.
- c. Maximum Parcel size:
- i. As determined by the Approving Authority in accordance with an approved area structure plan or outline plan; or
 - ii. The area on title at the time of passage of this Bylaw, whichever is lesser.
- 14.1.5.3 Utility Servicing Criteria
- a. Municipal or communal water and wastewater disposal systems.
 - b. Municipal or communal water system, and an advanced package sewage treatment system; or
 - c. On site water storage system on site and/or wastewater pump out tanks if deemed appropriate by the Approving Authority in accordance with an approved area structure plan or outline plan.

14.1.6 DEVELOPMENT REQUIREMENTS

- 14.1.6.1 Maximum Lot Coverage
- a. No building or group of buildings including their accessory buildings and impervious surfaces shall cover more than sixty (60) percent of the lot area.
- 14.1.6.2 Minimum Yard Setbacks Requirements
- a. Front Yard Setbacks:
 - i. 6 m (19.69 ft) from the property line from an internal road or municipal road.
 - ii. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater.
 - iii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
 - b. Side Yard Setbacks:
 - i. 1.5m (4.92 ft) from the property line.
 - ii. Where the side yard abuts a residential district, the setback shall be increased by 50%.
 - c. Rear Yard Setbacks:
 - i. 6m (19.69 ft) from the property line.
 - d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.
- 14.1.6.3 Corner Parcel Restrictions:
- a. In accordance with Section 9.27.9 - 9.27.12.

14.1.6.4 Other Minimum Setback Requirements:

- a. The Approving Authority may require a greater building setback for any use which, in the opinion of an Approving Authority, may interfere with the amenity of adjacent uses.
- b. See Section 9.27 "Special Setback Requirements" of this bylaw for additional setback requirements that may apply.

14.1.6.5 Maximum Height of Structure:

- a. 12m (39.37 ft)

14.1.7 SPECIAL REQUIREMENTS

14.1.7.1 Landscaping and Screening:

- a. Landscaping shall be completed in accordance with the Municipal Screening Standards.
- b. Levels and methods of screening of the site shall be completed in accordance with the Municipal Screening Standards.

14.1.7.2 Lighting:

- a. All lighting must be in accordance Section 9.15 of the Land use bylaw and with the Municipal Dark Sky Bylaw.

14.1.7.3 Lot Drainage:

- a. A Development agreement shall be entered into for lot grading to the satisfaction of the Director, Public Works and Engineering.
- b. Lot grading and drainage shall be in accordance with Section 9.17 of the Land use bylaw.

14.1.7.4 Other:

- a. The Approving Authority may allow a building to be occupied by a combination of one or more of the above mentioned uses listed for this district and each use shall be considered as a separate use, and each use shall obtain a separate development permit.

14.1.8 EXCEPTIONS:

14.1.8.1 For the lands described as Ptn. NE 09-19-28-W4 containing 129.51 +/- acres and Ptn. SE 09-19-28-W4 containing 149.99 +/- acres the following exceptions apply:

- a. Data Center Campus is a Discretionary use on these lands;
- b. The maximum site coverage, including all buildings and impermeable surfaces, is 60% of the total lot area or as supported by a stormwater management plan prepared by an accredited professional.
- c. The maximum height of structures shall be 18 metres.
- d. Parking must be provided at a rate of 1.5 parking stalls or units per permanent employee. This excludes Handicap Parking which shall be determined by the Development Authority.
- e. A complete development permit application for a Data Centre Campus must include a noise mitigation and monitoring plan for those areas not subject to the AUC Rule

12, a fire prevention program and dynamic emergency response plan to the satisfaction of Foothills County.

14.3 HIGHWAY COMMERCIAL DISTRICT

HC

14.3.1 PURPOSE AND INTENT

To accommodate a diverse range of commercial uses along highways and major transportation corridors intended to provide services to the travelling public and tourists and include businesses that require a high degree of visibility and/or ease of access to transportation routes.

14.3.2 GENERAL REQUIREMENTS:

- 14.3.2.1 Refer to Section 4.2 "No Development Permit Required" in the Land Use Bylaw for uses not requiring a development permit.
- 14.3.2.2 Refer to Section 9 and Section 10 respectively for the general and specific land use regulations and provisions that apply to this District.

14.3.3 PERMITTED USES	14.3.4 DISCRETIONARY USES
Community services Government services Public works Signs not requiring a development permit Solar Power System, Private (Not requiring a Development Permit) Tourist information services and facilities Utility services, minor	Accessory buildings requiring a development permit Accessory uses Agricultural support services Animal care services Arena, commercial Auctioneering services Auto sales and repair Business office Car/truck wash Convenience store Drinking establishment Financial services Food service, drive in Grocery store Health services Hotel Liquor sales Lot grading Motel Recreation, indoor Recreational vehicle sales Restaurant Retail garden centre Retail Store Service station Signs requiring a development permit Solar Power System, Private (Requiring a Development Permit) Special event Truck stop

14.3.5 LAND USE REQUIREMENTS

- 14.3.5.1 A person who wishes to subdivide land in this district into additional lots must first apply for and be granted approval of a land use bylaw amendment.
- 14.3.5.2 In order to facilitate the purpose and intent of this district and ensure the sustainable development of highway commercial uses within the District, the following applies to applications for subdivision:
- a. Parcel Density:
 - i. Parcel density requirements shall be determined by the Approving Authority, in accordance with an approved area structure plan or outline plan, if applicable.
 - b. Minimum Parcel Size:
 - i. 1.0 ac (4,047 m²).
 - ii. The area on title at the time of passage of this Bylaw, whichever is greater; or
 - iii. As determined by the Approving Authority, and if applicable, in accordance with an approved area structure plan or outline plan.
 - c. Maximum Parcel size:
 - i. As determined by the Approving Authority, and in accordance with an approved area structure plan or outline plan, if applicable; or
 - ii. The area on title at the time of passage of this Bylaw, whichever is lesser.
- 14.3.5.3 Utility Servicing Criteria
- a. Municipal or communal water and wastewater disposal systems.
 - b. Municipal or communal water system, and an advanced package sewage treatment system; or
 - c. On site water storage system on site and/or wastewater pump out tanks if deemed appropriate by the Approving Authority in accordance with an approved area structure plan or outline plan.

14.3.6 DEVELOPMENT REQUIREMENTS

- 14.3.6.1 Maximum Lot Coverage
- a. No building or group of buildings including their accessory buildings and impervious surfaces shall cover more than (60) sixty percent of the lot area.
- 14.3.6.2 Minimum Yard Setbacks Requirements
- a. Front Yard Setbacks:
 - i. 15m (49.21 ft) from the right of way of an internal subdivision road.
 - ii. 48m (157.48 ft) from the centreline of a Municipal Road.
 - iii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
 - iv. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater.
 - b. Side Yard Setbacks:
 - i. 1.5 (4.92 ft) from the property line.

- c. Rear Yard Setbacks:
 - i. Principal Building – 6m (19.69 ft) from the property line.
 - ii. Accessory Building – 1.5 (4.92 ft) from the property line.
 - d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.
- 14.3.6.3 Corner Parcel Restrictions:
- a. In accordance with Section 9.27.9 - 9.27.12.
- 14.3.6.4 Other Minimum Setback Requirements:
- a. See Section 9.27 "Special Setback Requirements" of this bylaw for additional setback requirements that may apply.
 - b. The Approving Authority may require a greater building setback for a use which, in the opinion of the Approving Authority, may interfere with the amenity of adjacent uses.
- 14.3.6.5 Maximum Height of Structures:
- a. 12m (39.37 ft).
- 14.3.7 SPECIAL REQUIREMENTS**
- 14.3.7.1 Landscaping and Screening:
- a. Landscaping shall be completed in accordance with the Municipal Screening Standards.
 - b. Levels and methods of screening of the site shall be completed in accordance with the Municipal Screening Standards.
- 14.3.7.2 Lighting:
- a. All lighting must be in accordance with Section 9.15 of the Land use bylaw and with the Municipal Dark Sky Bylaw.
- 14.3.7.3 Lot Drainage:
- a. A Development agreement shall be entered into for lot grading to the satisfaction of the Director, Public Works and Engineering.
 - b. Lot grading and drainage shall be in accordance with Section 9.17 of the Land use bylaw.
- 14.3.7.4 Other:
- a. The Approving Authority may allow a building to be occupied by a combination of one or more of the above mentioned uses listed for this district and each use shall be considered as a separate use, and each use shall obtain a separate development permit.
- 14.3.8 EXCEPTIONS:**

17.4 MUNICIPAL LAND/RESERVE DISTRICT

MLR

17.4.1 PURPOSE AND INTENT

To allow for schools, parks, community facilities, and recreation facilities on municipally owned recreational or education properties, and land dedicated as school reserve, municipal school reserve, community reserve, public reserve, and reserve pursuant to the Municipal Government Act or its predecessors.

17.4.2 GENERAL REQUIREMENTS:

- 17.4.2.1 Refer to Section 4.2 "No Development Permit Required" in the Land Use Bylaw for uses not requiring a development permit.
- 17.4.2.2 Refer to Section 9 and Section 10 respectively for the general and specific land use regulations and provisions that apply to this District.

17.4.3 PERMITTED USES	17.4.4 DISCRETIONARY USES
Agriculture, General Educational Services, Public/Separate Park Public Works Recreation, Passive Signs not requiring a development permit Solar Power System, Private (Not requiring a Development Permit)	Accessory Uses Antenna Structures, Private Community Building and Facility Community Services Educational Services, Private/Charter Government Services Lot Grading Protective and Emergency Service Recreation, Indoor Recreation, Outdoor Signs requiring a development permit Solar Power System, Private (Requiring a Development Permit) Special Event Utility Services, Minor

17.4.5 LAND USE REQUIREMENTS

- 17.4.5.1 Standards of the development shall be at the discretion of Council.

17.4.6 DEVELOPMENT REQUIREMENTS

- 17.4.6.1 Maximum Height of Structures:
 - a. All buildings:
 - i. 12m (39.37 ft.);
 - b. Amateur radio antennas, Antenna structures, private and wind energy conversion systems, personal (non-federally regulated):
 - i. 16m (52.49 ft.);
 - c. Or as determined by Council.

- 17.4.6.2 Maximum Lot Coverage
 - a. No building or group of buildings including their accessory buildings and impervious surfaces shall cover more than sixty (60) percent of the lot area.
 - b. Or as determined by Council.
- 17.4.6.3 Minimum Yard Setback Requirements:
 - a. Front Yard Setback:
 - i. 15m (49.21 ft.) from the right of way of an Internal Subdivision Road.
 - ii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
 - iii. 48m (157.48ft.) from the centre line of a Municipal Road.
 - iv. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater.
 - v. Or as determined by Council.
 - b. Side Yard Setback:
 - i. 15m (49.21 ft.) from property line.
 - ii. Or as determined by Council.
 - c. Rear Yard Setback:
 - i. 15m (49.21 ft.) from property line.
 - ii. Or as determined by Council.
 - d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.
- 17.4.6.4 Corner Parcel Restrictions:
 - a. In accordance with Sections 9.27.9 - 9.27.12.;
 - b. Or as determined by Council.
- 17.4.6.5 Other Minimum Setback Requirements:
 - a. See Section 9.27 "Special Setback Requirements" of Land use bylaw for additional setback requirements that may apply.
 - b. Or as determined by Council.

17.4.7 SPECIAL PROVISIONS

- 17.4.7.1 The Approving Authority, may, as a condition of issuing a Development Permit impose any condition that addresses a relevant planning and development matter, including but not limited to:
 - a. Development setbacks.
 - b. Size and number of structures permitted on site.
 - c. Engineering requirements.
 - d. Requirements for evacuation and emergency response plans.

- e. Upgrades on municipal roads.
- f. Mitigation of impacts on municipal roads;
- g. Noise.
- h. Buffering.
- i. Lighting.
- j. Parking requirements.
- k. Screening of facilities.
- l. Proof of compliance with fire and safety codes inspections of the facility.
- m. Any other condition that Council deems necessary.

17.4.7.2 Lighting:

- a. All lighting must be in accordance with Section 9.15 of this Land use bylaw and with the Municipal Dark Sky Bylaw.
- b. Or as approved by Council

17.4.7.3 Lot Drainage:

- a. A Development agreement shall be entered into for lot grading to the satisfaction of the Director, Public Works and Engineering.
- b. Lot grading and drainage shall be in accordance with Section 9.17 of the Land use bylaw.
- c. Or as approved by Council.

17.4.8 EXCEPTIONS:

16.3 ENVIRONMENTAL PROTECTION DISTRICT

16.3.1 PURPOSE AND INTENT

To provide for the preservation and protection of land determined to be environmentally significant. These lands may be owned or managed by the County, an individual landowner, condominium association, or public land trust and may require an Environmental Management Plan approved by the Approving Authority outlining the use and management of the lands.

16.3.2 GENERAL REQUIREMENTS:

- 16.3.2.1 Refer to Section 4.2 “No Development Permit Required” in the Land Use Bylaw for uses not requiring a development permit.
- 16.3.2.2 Refer to Section 9 and Section 10 respectively for the general and specific land use regulations and provisions that apply to this District.

16.3.3 PERMITTED USES	16.3.4 DISCRETIONARY USES
Agricultural general Public works Signs not requiring a development permit Solar Power System, Private (Not requiring a Development Permit)	Accessory building - temporary Accessory uses Dwelling, temporary Lot grading Pathways Private amenity space Signs requiring a development permit Solar Power System, Private (Requiring a Development Permit) Utility services, minor

16.3.5 LAND USE REQUIREMENTS

- 16.3.5.1 A person who wishes to subdivide land in this district into additional lots must first apply for and be granted approval of a land use bylaw amendment.
- 16.3.5.2 In order to facilitate the purpose and intent of this district and ensure the management of environmental protection uses within the District, the following applies to applications for subdivision:
 - a. Parcel Density:
 - i. Parcel density requirements shall be determined by the Approving Authority, and if applicable, in accordance with an approved area structure plan or outline plan.
 - b. Minimum Parcel Size:
 - i. The area on title at the time of passage of this Bylaw, whichever is greater; or
 - ii. As determined by the Approving Authority, and in accordance with an approved area structure plan or outline plan, if applicable.

- c. Maximum Parcel size:
 - i. The area on title at the time of passage of this Bylaw, whichever is lesser; or
 - ii. As determined by the Approving Authority, and in accordance with an approved area structure plan or outline plan, if applicable.

16.3.5.3 Utility Servicing Criteria

- a. As determined by the Approving Authority, and if applicable, in accordance with an approved area structure plan or outline plan.

16.3.6 DEVELOPMENT REQUIREMENTS

16.3.6.1 Management Plan

- a. A management plan may be required by the Approving Authority to outline the use of the land, how the land will be maintained, who is responsible for ongoing maintenance, and any other items deemed appropriate by the Approving Authority. All development permit applications must conform to the management plan on lands where a management plan has been approved.

16.3.6.2 Maximum Lot Coverage

- a. As determined by the Approving Authority, and if applicable, in accordance with an approved area structure plan or outline plan.

16.3.6.3 Minimum Yard Setbacks Requirements

- a. Front Yard Setbacks:
 - i. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater;
 - ii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
 - iii. 48m (157.48 ft.) from the centreline of the Municipal road;
 - iv. 15m (49.21 ft.) from the property line from an internal road
- b. Side Yard Setbacks:
 - i. 15m (49.21 ft.) from the property line
- c. Rear Yard Setbacks:
 - i. 15m (49.21 ft.) from the property line
- d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.

16.3.6.4 Corner Parcel Restrictions:

- a. In accordance with Section 9.27.9 - 9.27.12.

16.3.6.5 Other Minimum Setback Requirements:

- a. See Section 9.27 "Special Setback Requirements" of this bylaw for additional setback requirements that may apply.

16.3.6.6 Maximum Height of Structure:

- a. Buildings - 12m (39.37 ft.)
- b. Satellite dishes, radio antennas, internet towers and wind turbines - 16m (52.49 ft.)

16.3.7 SPECIAL REQUIREMENTS

16.3.7.1 Management Plan:

- a. All development permit application must conform to a management plan if required by the Approving Authority. Such management plan shall be prepared by the applicant and approved by the Approving Authority prior to the time that an application for a development permit is made.

16.3.7.2 Lighting:

- a. All lighting must be in accordance with Section 9.15 of the Land use bylaw and with the Municipal Dark Sky Bylaw;

16.3.7.3 Lot Drainage:

- a. Lot grading and drainage shall be in accordance with Section 9.17 of the Land use bylaw.

16.3.7.4 Other:

- a. The Approving Authority may allow a building to be occupied by a combination of one or more of the above mentioned uses listed for this district and each use shall be considered as a separate use.

16.3.8 EXCEPTIONS:

15.4 NATURAL RESOURCE EXTRACTION DISTRICT

INR

15.4.1 PURPOSE AND INTENT

To accommodate industrial uses related to non-renewable natural resource extraction and processing.

This District was formally named Industrial Natural Resource District and includes all lands zoned Industrial Natural Resource District in the County.

15.4.2 GENERAL REQUIREMENTS:

15.4.2.1 Refer to Section 4.2 "No Development Permit Required" in the Land Use Bylaw for uses not requiring a development permit.

15.4.2.2 Refer to Section 9 and Section 10 respectively for the general and specific land use regulations and provisions that apply to this District.

15.4.3 PERMITTED USES	15.4.4 DISCRETIONARY USES
Agricultural, general Natural resource extraction/processing Public works Signs not requiring a development permit Solar Power System, Private (Not requiring a Development Permit) Utility services, minor	Accessory buildings requiring a development permit Accessory uses Dwelling, single family Dwelling, moved on Dwelling unit, temporary (accessory to principal use) Home Based Business I Home Office Lot grading Signs requiring a development permit Solar Power System, Private (Requiring a Development Permit)

15.4.5 LAND USE REQUIREMENTS

15.4.5.1 A person who wishes to subdivide land in this district into additional lots must first apply for and be granted approval of a land use bylaw amendment.

15.4.5.2 In order to facilitate the purpose and intent of this district and ensure the sustainable development of natural resource extraction uses within the District, the following applies to applications for subdivision:

- a. Parcel Density:
 - i. Parcel density requirements shall be determined by the Approving Authority, in accordance with an approved area structure plan or outline plan, if applicable.
- b. Minimum Parcel Size:
 - i. The area on title at the time of passage of this Bylaw, whichever is greater; or
 - ii. As determined by the Approving Authority, and in accordance with an approved area structure plan or outline plan, if applicable.
- c. Maximum Parcel size:

- i. The area on title at the time of passage of this Bylaw, whichever is lesser; or
- ii. As determined by the Approving Authority, and in accordance with an approved area structure plan or outline plan, if applicable.

15.4.5.3 Utility Servicing Criteria

- a. As determined by the Approving Authority and in accordance with an approved area structure plan or outline plan, if applicable.

15.4.6 DEVELOPMENT REQUIREMENTS

15.4.6.1 Maximum Lot Coverage

- a. No building or group of buildings including their accessory buildings and impervious surfaces shall cover more than sixty (60) percent of the lot area.

15.4.6.2 Minimum Yard Setbacks Requirements

- a. Front Yard Setbacks:
 - i. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater.
 - ii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
 - iii. 48m (157.48 ft) from the centreline of the Municipal Road.
 - iv. 15m (49.21 ft) from the property line from an Internal Road.
- b. Side Yard Setbacks:
 - i. 15m (49.21 ft) from the property line.
- c. Rear Yard Setbacks:
 - i. 15m (49.21 ft) from the property line.
- d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.

15.4.6.3 Corner Parcel Restrictions:

- a. In accordance with Section 9.27.9 - 9.27.12.

15.4.6.4 Other Minimum Setback Requirements:

- a. See Section 9.27 "Special Setback Requirements" of this bylaw for additional setback requirements that may apply.

15.4.6.5 Maximum Height of Structure:

- a. Buildings - 12m (39.37 ft).
- b. Satellite dishes, radio antennas, internet towers and wind turbines - 16m (52.49 ft).

15.4.6.6 Minimum habitable area per dwelling

- a. 84 m² (904.20 sq. ft).

15.4.7 SPECIAL REQUIREMENTS

15.4.7.1 Landscaping and Screening:

- a. Landscaping shall be completed in accordance with the Municipal Screening Standards.
- b. Levels and methods of screening of the site shall be completed in accordance with the Municipal Screening Standards.

Lighting:

- c. All lighting must be in accordance with Section 9.15 of this Land use bylaw and with the Municipal Dark Sky Bylaw.

15.4.7.2 Lot Drainage:

- a. A Development agreement shall be entered into for lot grading to the satisfaction of the Director, Public Works and Engineering.
- b. Lot grading and drainage shall be in accordance with Section 9.17 of the Land use bylaw.

15.4.7.3 Other:

- a. The Approving Authority may allow a building to be occupied by a combination of one or more of the above mentioned uses listed for this district and each use shall be considered as a separate use,

15.4.8 EXCEPTIONS:



KEVIN BAILEY
Community Planner II
kbailey@bastudios.ca
403 692 5229

November 10, 2025

B&A File: #2024-328

Foothills County
309 MacLeod Trail
High River, AB T1V 1M7

Attn: Heather Hemingway | Director of Planning
Samantha Payne | Manager of Planning Applications

From: Kevin Bailey | Community Planner, B&A Studios

Re: Foothills Logistics Centre Outline Plan and Land Use Amendment Application

Dear Heather and Samantha,

On behalf of the landowners, Volker Stevin Contracting, and their parent company, Volker Wessels, B&A is pleased to submit an application for a new Outline Plan and associated Land Use Amendment for the lands legally described as follows:

- NE 13-20-29-W4M
- Block 2, Plan 941 0556
- Lot 2, Block 4, Plan 121 3109
- Lot 3, Block 4, Plan 131 1304

Our pre-application package is comprised of the following submission materials:

1. Cover Letter, B&A, - November 10, 2025
2. Land Use Amendment application (existing and proposed land use maps attached) – November 6, 2025
3. Outline Plan application – November 6, 2025
4. Land Titles for affected parcels (bundled) – November 10, 2025
5. Letters of Authorization signed by landowners (bundled) – May 12, 2025
6. Foothills Logistics Centre Outline Plan – November 7, 2025

7. Review Fee of \$8850.00+GST per requirements of Foothills County 'Fee' Bylaw 56/2024 – November 7, 2025
8. Engagement Summary Report, B&A
9. Preliminary Geotechnical Assessment, Englobe – May 6, 2025
10. Site Servicing Report, ISL Engineering – November 7, 2025
11. Stormwater Management Report, ISL Engineering – November 7, 2025
12. Traffic Impact Assessment, ISL Engineering – November 7, 2025
13. Biophysical Impact Assessment, ISL Engineering – November 7, 2025
14. Phase 1 Environmental Site Assessment, Trace & Associates – May 29, 2025
15. Phase 1 Environmental Site Assessment, Trace & Associates – August 28, 2025
16. Historical Resource Impact Assessment, Lifeways of Canada – October 2025
17. Landscape Screening Plan, LA West – May 7, 2025
18. Abandoned Wellsite Declaration
19. Abandoned Wellsite Landowner Statement

B&A believes this submission includes appropriate policy directions to initiate the County's review and processing of this Outline Plan and Land Use Amendment application. On behalf of Volker Wessels, we look forward to working with administration and interested stakeholders during administration's upcoming circulation and review process. Please feel free to contact me at your own convenience if you require clarification relative to this matter.

Respectfully,



KEVIN BAILEY

Community Planner, B&A
kbailey@bastudios.ca | 403.692.5229

Applicant's Submission Statement – November 07, 2025

PURPOSE:

The purpose of this application is to propose the Foothills Logistics Centre Outline Plan and its associated Land Use Amendment. This Outline Plan envisions a redevelopment of Volker Stevin's aggregate extraction operation within the area described below.

The Outline Plan has been prepared pursuant to the Highway 2A Industrial Area Structure Plan (H2AIASP). It is a non-statutory plan intended to describe the developer's rationale, requirements, and site design to establish a comprehensively planned Transportation and Logistics Centre within the Highway 2A corridor.

LOCATION:

The Outline Plan area (henceforth, 'Subject Lands') is located on portions of two quarter-sections, and spans four titled parcels legally described as follows:

- NE 13-20-29-W4M
- Block 2, Plan 941 0556
- Lot 2, Block 4, Plan 121 3109
- Lot 3, Block 4, Plan 121 3109

The Subject Lands are located at the north end of the H2AIASP plan area. They are immediately northwest of the HWY 7 – HWY 2 interchange, and are bounded by the Sheep River natural area and residential/business uses (Country Lane Estates) to the north; by 79 Street E and HWY 2 to the east; by 393 Ave E and 79 Street E to the south; and by the Sheep River natural area and industrial/commercial uses (Warner Business Park) to the west. The property is owned by Volker Stevin Contracting, which is one arm of the wider Volker Wessels organization (the Client). The Client has identified the location for redevelopment and transition into higher and better industrial-commercial uses, in alignment with H2AIASP policy direction.

EXISTING SITE DEVELOPMENT AND ACCESS:

The Subject Lands, with an area of approximately 143 acres, are made up of four parcels:

- The northernmost parcel is an undeveloped natural area fronting the Sheep River (which marks the north end of site). It is characterized by two notable topographical drops, with approximately 16.7 ac of the site being located within the Sheep River floodway.
- The remain parcels contain an active aggregate extraction operation alongside an asphalt plant and its associated warehouse / industrial buildings. As a result, this area and its soils have been heavily disturbed. While the asphalt plant and operations will remain on site for the remainder of their lifespan (estimated at approximately 20-30 years), the aggregate pit is nearing depletion, which is leading the Client to seek redevelopment.

The site is currently accessed through 3 locations to the south: two site entries to the asphalt plant off of 393 Ave E, and another site entry for the remainder of site operations which extends from 79 Street E.

Our client intends to maintain the 79 Street access as the main point of entry (which would extend north as a central spine road and provide access to the parcels planned on site) but proposes to relocate the current east-west orientation of this road further north, to accommodate a more suitable stacking distance from HWY 7 to the south. Additionally, an ultimate secondary emergency access is proposed extending west from this central spine road just inside the north and west boundaries of NE 13-20-29-W4. An interim emergency access easement is proposed to extend east from the same location during the initial phases of development, as described in Section 6.4 of the Outline Plan document included with this submission.

CURRENT AND PROPOSED LAND USE:

The Subject Lands are currently made up of just two land use districts:

- The northernmost parcel (Block 2, Plan 941 0556) is zoned for Recreation (REC).
- The remaining area is all zoned for Natural Resource Extraction (INR).

To accommodate the uses intended on site, the Client will seek a land use amendment to include the following land use districts on site (calculations are set to parcel boundaries, not including public roads):

- General Industry (GI): ± 64.24 ac
- Highway Commercial (HC): ± 8.25 ac
- Public Utility (PUL): ± 6.55 ac
- Environmental Protection (EP): 16.70 ac (district accommodates Environmental Reserve dedication on site)
- Municipal Land/Reserve (MLR): ± 12.62 ac (meets 10% requirement)

If the Outline Plan is approved as proposed, ± 24.73 ac of land will remain as an INR district – to accommodate the asphalt plant operations intended to remain on site until operations cease. The Subject Lands will not retain any land as a REC district.

SUBDIVISION:

Though not included with this proposal, the Client intends to seek subdivision of the Subject Lands.

If the County looks favourably on the parcelization of the Subject Lands as proposed within this Outline Plan, we will seek subdivision as soon as possible within the County's ordering of process actions. We understand that subdivision will be dependant on the findings of the necessary technical reports, and remediation of the site to the satisfaction of the County and Province.

POTABLE WATER AND WASTEWATER SERVICING:

The Subject Lands (and surrounding area) are currently unserved. It is noted and understood that sites within the H2A IASP must be serviced for both prior to any development being undertaken.

A major factor in the proposed development of this site is the immediate and impactful return on investment it can provide for the major water / wastewater servicing plant that the County is developing due south of site, immediately east of Aldersyde. In previous discussions with County staff, it was communicated that the County intends to have water servicing the area by 2026, with wastewater following by 2027. The proposed development would create an area hub, due to its proximity to the Warner Business Park (west of site) and the Foothills Regional Fieldhouse (southwest of site), across HWY 2A, and creates a logical target location for an immediate spur of a future regional servicing corridor.

Approval of the proposed Outline Plan would create an impetus for both County staff and the Client to work together on achieving a mutually beneficial regional servicing goal.

DEVELOPER RATIONALE:

The Subject Lands' location provides strong positioning for the intended use of a transportation and logistics center, capitalizing on the significance of the Greater Calgary Area (GCA) as a stop-over point for goods movement oriented both east-west and north-south, with lower rental rates than other major metropolitan areas in Canada such as Vancouver, Winnipeg, Toronto, and Montreal: HWY 2 is a major north-south goods movement corridor extending from Canada's Northwest Territories through the United States and all the way to Mexico. The subject site is located immediately adjacent to Highway 2:

- Highway 7 does represent a slight deviation from Highway 1, which is the major east-west goods movement corridor serving Canada from coast to coast. However, truck drivers will often look to circumvent the City of Calgary and its increased traffic on this route, and this location presents Foothills County with an opportunity to accommodate this desired circumvention while simultaneously gaining a foothold on this industry within County borders.

- It is also important to note that the GCA is a key rest point for east-west trucking routes, as truck drivers are limited to 13-hour daily maximums on their drives, and the GCA is located approximately 13 hours from both Vancouver to the west and Winnipeg to the east. Taking this into consideration with the much better rental rates relative to other major metropolitan areas in Canada, the investment potential for this site within the industry is significant.

ADDITIONAL NOTES

- Our team (both B&A and representatives from Volker) met with County staff on October 21, 2024. County staff responded well to the project as described, saying it was aligned with area policy, and provided some guidance on anticipated timelines for area servicing as communicated above.
- Subsequent meetings between the project team and County staff to discuss the project, primarily to discuss servicing, were held on June 24, September 11, September 30, and October 22. We feel that both sides have an understanding of the next steps required, and an understanding of how to work with each other to achieve the stated goals.
- The surrounding Community has been informed and engaged about the project, through standard mail, direct contact with identified stakeholders, and an Open House event held on February 13, 2025 at the Cavalry FC Regional Fieldhouse. The reception was overwhelmingly positive, with a general curiosity of what beneficial uses would be added with aggregate pit operations being phased out.
- A second engagement event with Country Lane Estates Owners was held at the Country Lane Estates meeting hall on September 19, 2025. Around 60 people attended. Again, the reception was overwhelmingly positive, with questions mainly centered around circulation and access, site security, and site operations.

- With regard to the Abandoned Wellsite Declaration, please be mindful of the note added to the declaration (and associated redaction from standard phrasing) and the section added to the Landowner Statement document speaking to our difficulties contacting wellsite licensees to confirm well site coordinates were correct. In the Abandoned Wellsite Landowner Statement, our efforts are outlined with proof of attempts at correspondence.

DECEMBER 2025



Foothills Logistics Centre

OUTLINE PLAN



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1.0

INTRODUCTION |



1.0 Introduction

1.1 Purpose of this Plan

This Outline Plan is prepared pursuant to the Highway 2A Industrial Area Structure Plan (H2AIASP). It is a non-statutory plan intended to describe the developer's rationale and motivation to establish a comprehensively planned Transportation and Logistics Center within the Highway 2A corridor referred to as the Foothills Logistics Centre.

1.2 Development Rationale

The subject lands are located within Foothills County, at the northernmost point of the H2AIASP policy area. They are located immediately northwest of the Highway 2 – Highway 547 interchange, and are bounded by the Sheep River and recreational / business uses (Country Lane Estates) to the north; by 79 Street E and Highway 2 to the east; by 393 Ave E and Highway 7 to the south; and by the Sheep River Natural Area and commercial / industrial uses (Warner Business Park) to the west.

The subject lands contain mostly flat topography, with two shelves that cascade down toward the Sheep River at their northernmost point. The plan area boasts both views of the Rocky Mountains and access to the Sheep River, as well as connections to the existing businesses and amenities within the Highway 2A corridor, the Town of High River, and the Town of Okotoks. This site contains lands that have been historically disturbed for agricultural uses, and more recently utilized for aggregate mining/ extraction operations alongside an asphalt plant and associated warehouse/industrial buildings. This Outline Plan envisions a new phase of development following the depletion of these resources and reclamation of these lands, that can accommodate a transportation and logistics hub at a critical nexus point for several automotive shipping movement corridors.

According to the H2AISAP, the subject lands are situated within an Industrial Commercial (IC) policy area, which is intended to allow industrial and commercial forms of development to take place proximate to one another in a manner that is mutually beneficial and complementary, and flagged as an 'Enhanced Area' within the H2AIASP Design Guidelines. Implementation of the ASP's IC policy area within this Outline Plan will ensure that the uses are consistent with the aims expressed through this policy, and that all building designs and screening requirements adjacent to Highway 2 are implemented with due care and consideration.

The Outline Plan's implementation framework contemplates the immediate development of the proposed street and circulation network with large parcel sizes that can accommodate either the immediate development of logistics and distribution buildings of different scopes and sizes, future subdivision into smaller parcel sizes, or a hybrid, if that is what the market ultimately dictates, with Business Park (BP) and Highway Commercial (HC) land uses in accordance with the County's Land Use Bylaw. Concurrently, development taking place in the northern portion of site will include a stormwater pond and features to support full site servicing, and a range of community uses in concert with the existing Recreation (REC) land use.

This site location provides strong positioning for the intended use of a transportation and logistics center, capitalizing on the significance of the Greater Calgary Area (GCA) as a stop-over point for goods movement oriented both east-west and north-south, with lower rental rates than other major metropolitan areas in Canada such as Vancouver, Winnipeg, Toronto, and Montreal: Highway 2 is a major north-south goods movement corridor extending from Canada’s Northwest Territories through the United States and all the way to Mexico. The subject site is located immediately adjacent to Highway 2.

- + Highway 7 does represent a slight deviation from Highway 1, which is the major east-west goods movement corridor serving Canada from coast to coast. However, truck drivers will often look to circumvent the City of Calgary and its increased traffic on this route, and this location presents Foothills County with an opportunity to accommodate this desired circumvention while simultaneously gaining a foothold on this industry within County borders.
- + It is also important to note that the GCA is a key rest point for east-west trucking routes, as truck drivers are limited to 13-hour daily maximums on their drives, and the GCA is located approximately 13 hours from both Vancouver to the west and Winnipeg to the east. Taking this into consideration, along with the much better ‘Class A’ rental rates relative to other major metropolitan areas in Canada (as shown in Figure 1 below), the investment potential for this site within the industry is significant.



FIGURE 1 | CANADA TRUCK SHIPPING CONTEXT

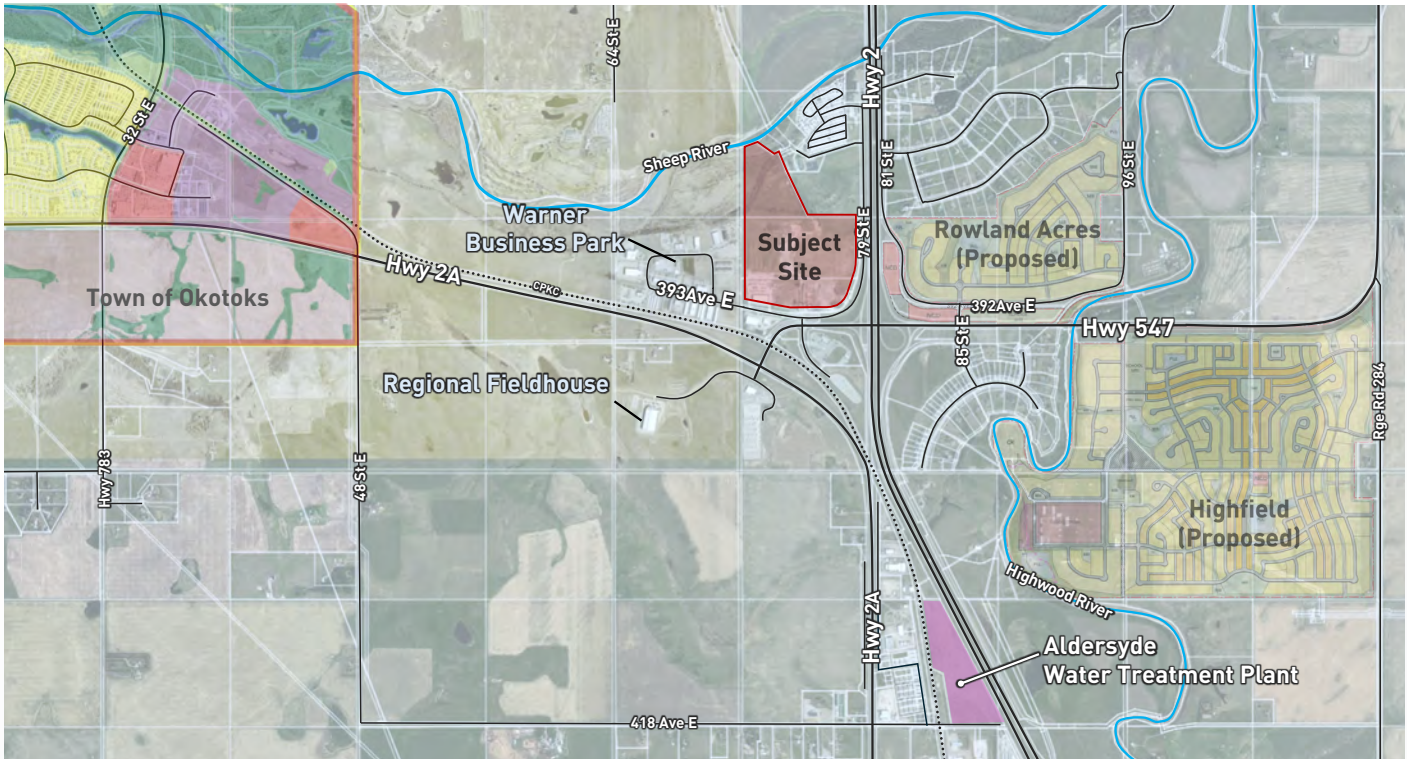


FIGURE 2 | LOCAL CONSIDERATIONS

Additionally, the site presents an opportunity for Foothills County to see an immediate and impactful return on investment for large-scale regional servicing projects coming on board in the near future. With the current development of a Water / Wastewater Treatment Plant a short distance south of site (immediately east of the Hamlet of Aldersyde and west of Highway 2), major projects within the Highway 2 corridor will pay immediate dividends for efforts undertaken to supply the area with potable water and waste water servicing.

As an added benefit, the close proximity of the Foothills Logistics Centre site location to existing developments such as Warner Business Park (west of site), and the Regional Fieldhouse (southwest of site, across Highway 2A) make this area a optimal location within the Highway 2A corridor to extend services to with immediate impact.

1.4 Primary Development Considerations

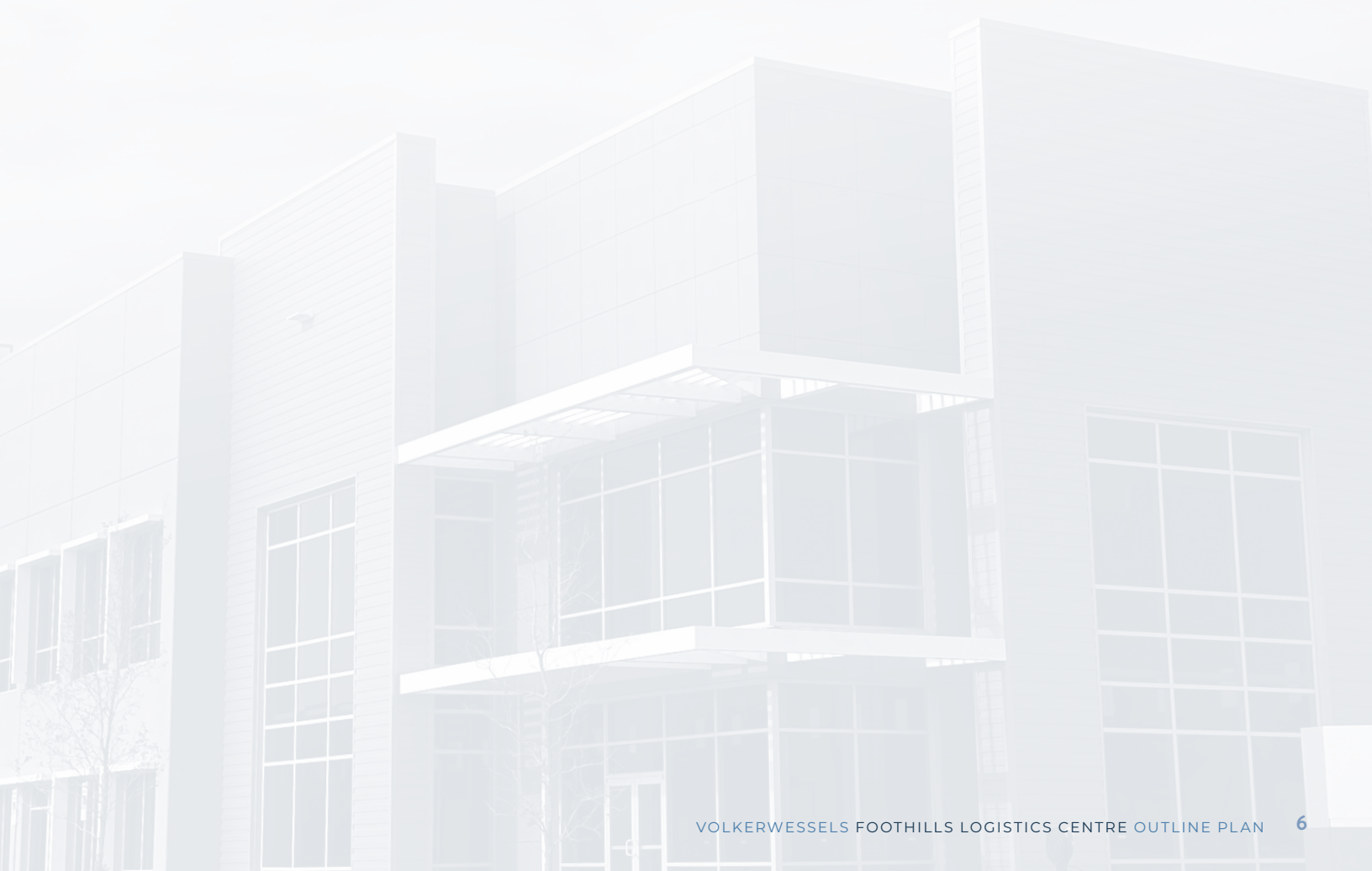
The Foothills Logistics Centre is proposed as a comprehensive transportation and logistics development project with the following key consideration:

- + No structural development is to take place within the Sheep River floodway, although this area may be enhanced with low impact nature pathways to provide better access to the river.
- + The land use strategy for the Foothills Logistics Centre envisions community recreational uses in the north and retail / hospitality uses at the southern boundary fronting 393 Avenue E, with the majority central portion of site dedicated to larger scale transportation and logistics
- + Transportation upgrades will be constructed by the developer within public road ROWs with intersections onto 393 Avenue E designed in accordance with the requirements of Alberta Transportation and Foothills County.
- + Development will depend on access to potable water servicing via anticipated upgrades within Foothills County. Preliminary communications with the County indicate that the upgrades providing water servicing are expected by 2026.
- + Development will depend on access to sanitary servicing via anticipated upgrades within Foothills County, which will require a connection to an off-site lift station. Preliminary communications with the County indicate that the upgrades providing sanitary servicing are intended by 2027.
- + Stormwater service will be managed by a stormwater management facility on the northern portion of site, located outside of the Sheep River floodway.
- + Existing asphalt plant operations located along the west boundary of site will be maintained for an estimated 20+ year time horizon, after which it is envisioned that these parcels will transition to uses seen throughout the remainder of the subject site. The reason for the continued operations is due to the plant's strategic location for the development of growth and construction operations throughout the Greater Calgary Area over this period.
- + Building design, screening, and landscape buffers will be consistent with the requirements provided in the H2A IASP.
- + When the asphalt refinery land becomes available, it can be incorporated into the Foothills Logistics Centre through future amendments to this Outline Plan and the Foothills County Land Use Bylaw.
- + Site development will be sensitive to the input provided by Foothills County, the Town of Okotoks and stakeholders in the surrounding area. Consultation with all interested parties will begin prior to the anticipated Council hearing, and will continue through the application process.

1.5 Outline Plan Objectives

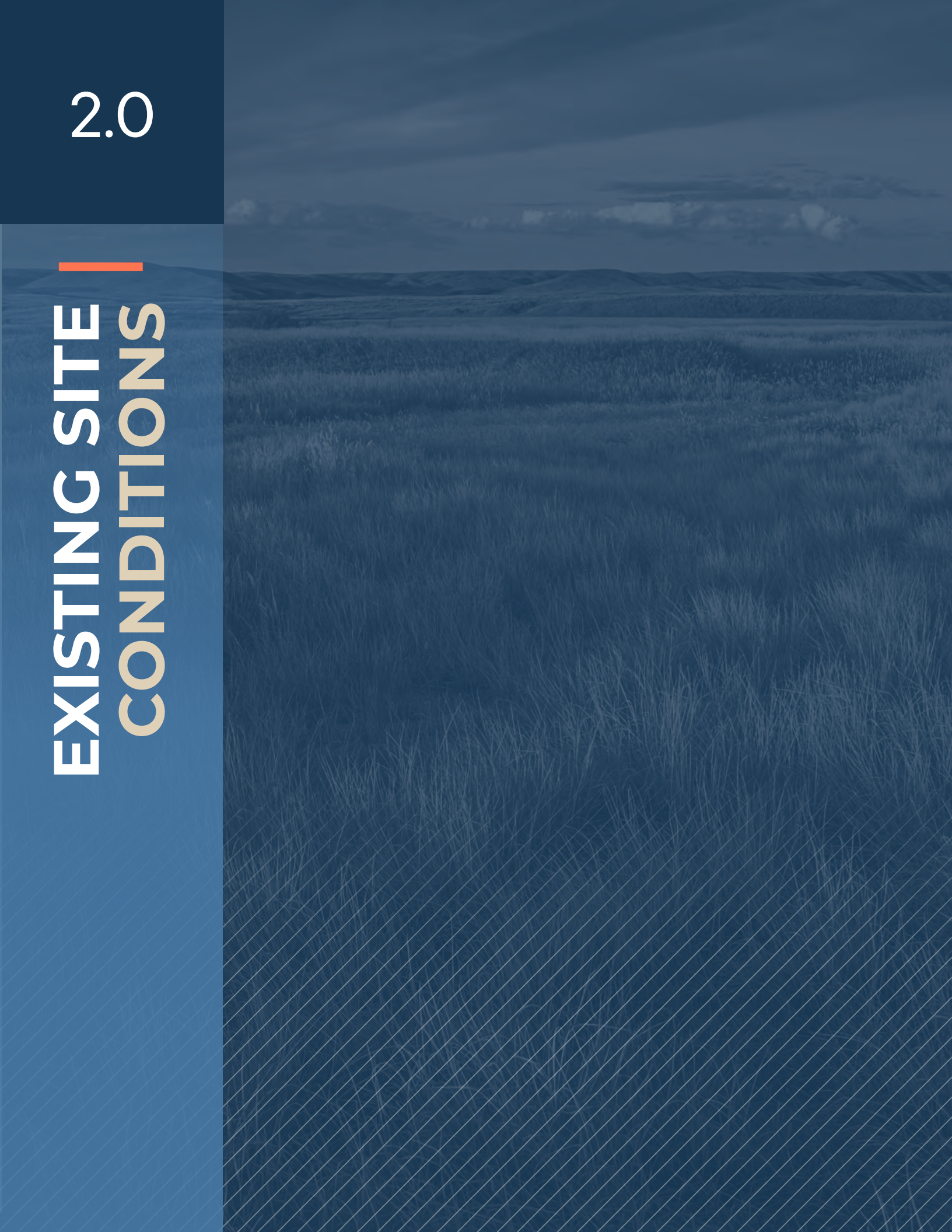
The Objectives of the Foothills Logistics Centre Outline Plan are to:

- + Summarize a baseline review of existing conditions within the plan area to identify development opportunities and significant constraints which require appropriate mitigation strategies.
- + Establish a preliminary site plan and land use concept alongside an integrated strategy to facilitate supporting transportation and utility servicing infrastructure, as well as a design for proposed community amenities included on site.
- + Demonstrate potential for future development that will require subsequent subdivision applications.
- + Establish an overall phasing strategy for development within the plan area based on the availability of utility servicing, transportation infrastructure, and market demand.
- + Rationalize the project in accordance with the County's adopted statutory and non-statutory policy framework including the Municipal Development Plan, the Highway 2A Industrial Area Plan (and Design Guidelines), and the regulatory provisions of the Land Use Bylaw.



2.0

EXISTING SITE |
CONDITIONS



2.0 Existing Site Conditions

2.1 Site Location

As shown in **Figure 3: Regional Context**, the Outline Plan area is located immediately northwest of the Highway 2 – Highway 547 interchange and is bounded by the Sheep River and a mix of recreational and business uses to the north (eg. Country Lane Estates); by 79 Street E and Highway 2 to the east; by 393 Ave E and Highway 7 to the south; and by the Sheep River Natural Area and commercial / industrial uses to the west (eg. Warner Business Park). This positions the site at the northernmost point of the H2A/ASP plan area.

FIGURE 3 | REGIONAL CONTEXT

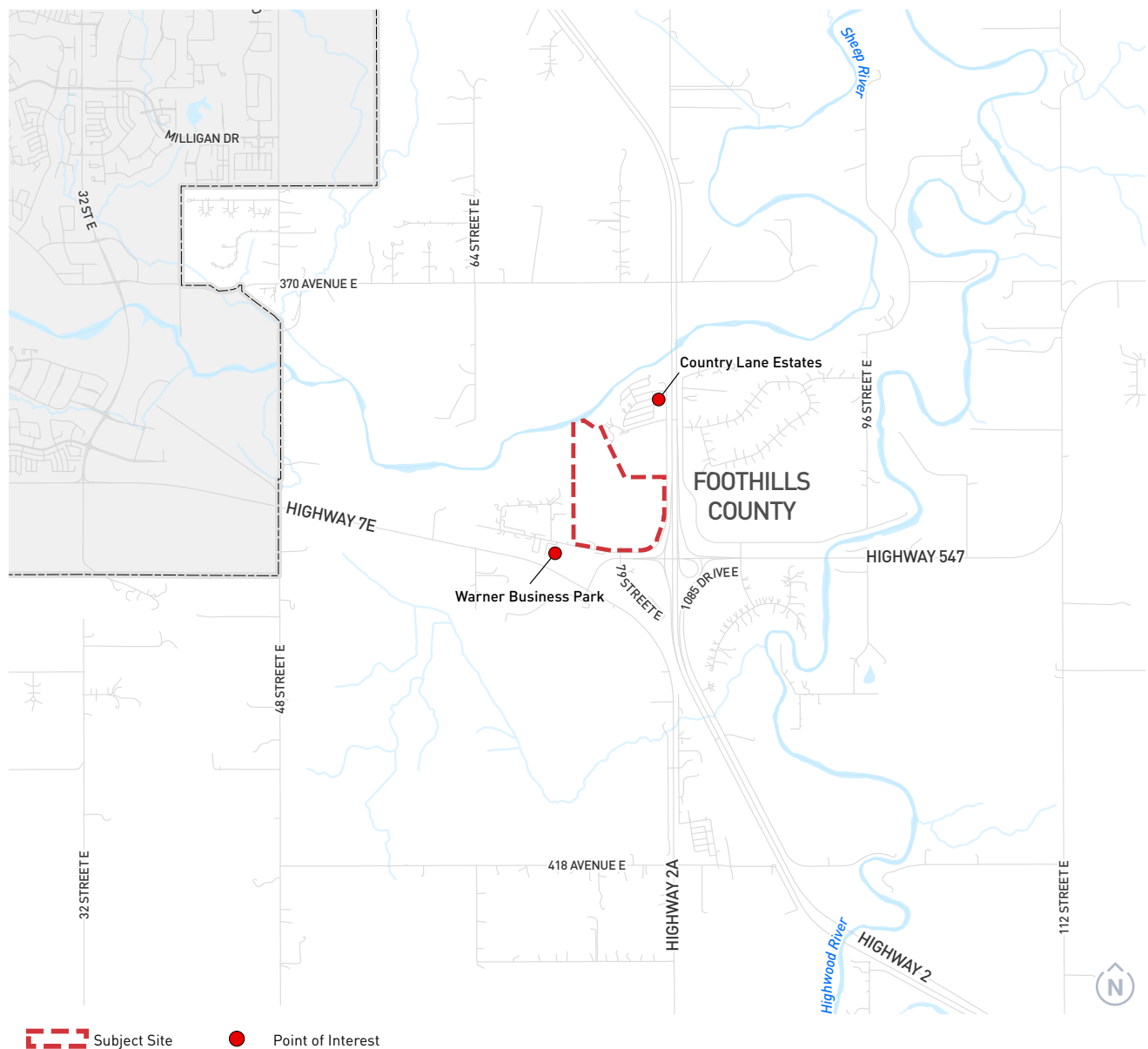
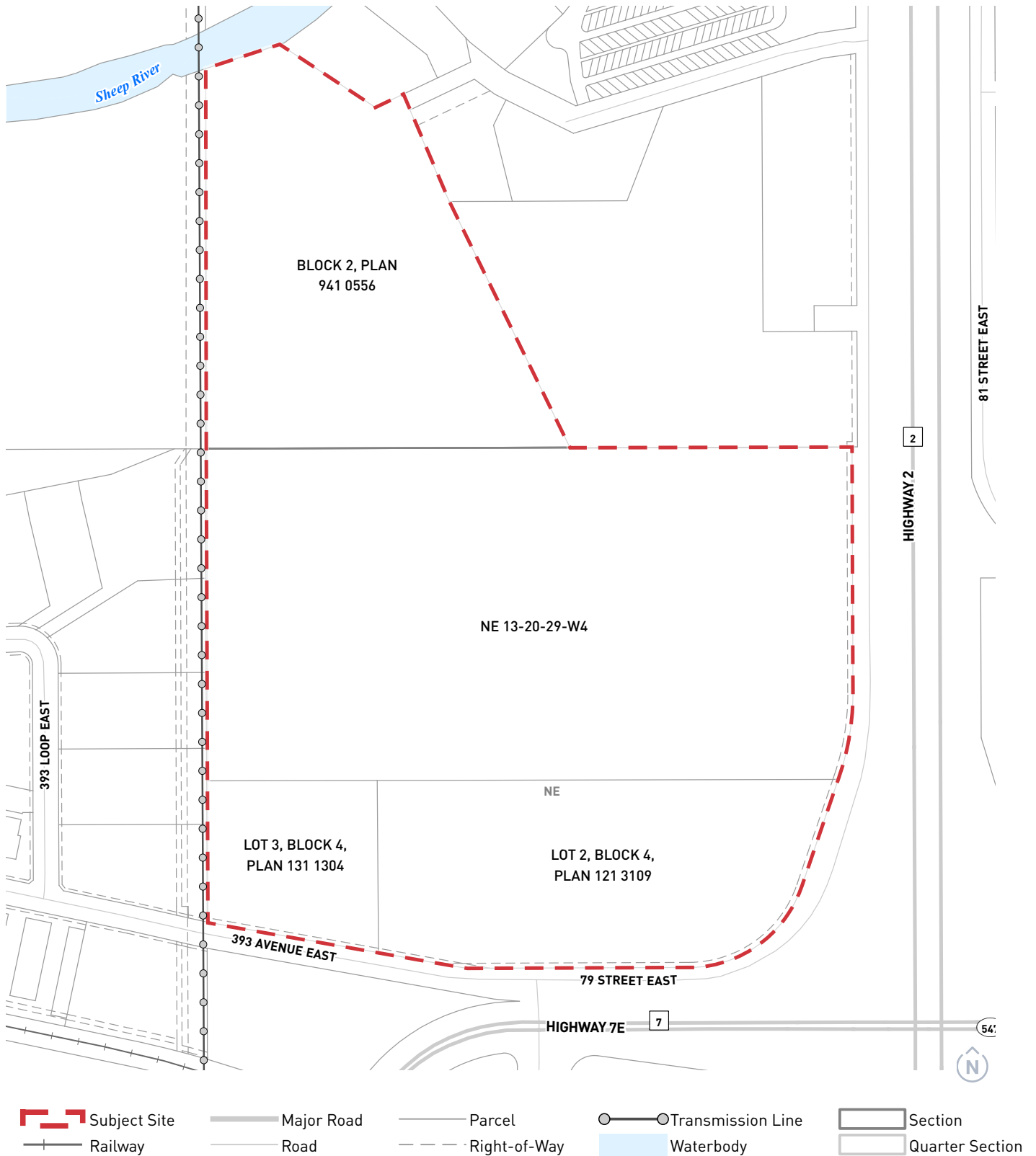


FIGURE 4 | LEGAL DESCRIPTIONS



2.1.1 Legal Descriptions

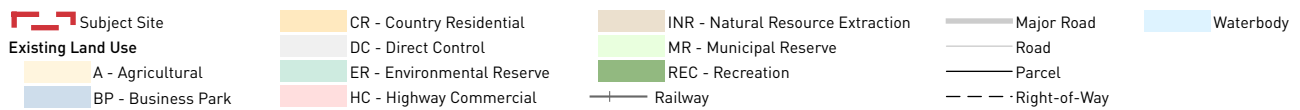
As shown in **Figure 4: Legal Descriptions**, the Plan area is located on portions of two (2) quarter-sections, and spans four (4) titled parcels as described in **Table 1 - Legal Descriptions**. The subject lands also contain a Utility Right-of-Way (Registered as 071 553 891) running just within the eastern boundaries of both NE 13-20-W4 and Lot 2, Block 4, Plan 121 3109. Additionally, a transmission line runs directly parallel to the subject lands along the entirety of their western boundary.

Table 1 - Legal Descriptions

Legal	Area (±ha)	Area (±ac)
NE 13-20-29-W4	29.36	72.63
Block 2, Plan 941 0556	14.04	34.69
Lot 2, Block 4, Plan 121 3109	10.73	26.50
Lot 3, Block 4, Plan 131 1304	3.67	9.07
TITLED AREA	±57.8	±142.89
Rights of Way	0.73	1.81

**Calculated based off areas described in Certificates of Title*

FIGURE 5 | EXISTING LAND USE



2.1.2 Existing Land Use

As shown in both **Figure 5: Existing Land Use** and in **Table 2 - Existing Land Use**, there are currently two different land use districts on the subject lands, as per the Foothills County Land Use Bylaw (LUB). The northernmost parcel (Block 2, Plan 941 0556) is zoned under the Recreation (REC) district, while the remaining three parcels are zoned under the Natural Resource Extraction (INR) district.

The Foothills County LUB provides the following definitions for these two land use districts:

- + **Recreation (REC) District:** Intended to accommodate a wide range of public/private parks and recreational activities, primarily aimed at passive and active outdoor activities and includes buildings for community recreation and accessory uses to facilities like golf courses. While some of the activities intended for this parcel, as expressed by the client, would be consistent with these uses, they will be seeking an amendment to the LUB to accommodate the uses being proposed and reserve dedications that are required on site.
- + **Natural Resource Extraction (INR) District:** Intended to accommodate industrial uses related to non-renewable natural resource extraction and processing. The District was formally named Industrial Natural Resource District and includes all lands zoned Industrial Natural Resource District in the County. With the resources on the Subject Lands coming close to depletion, this district will no longer be suitable to the proposed activities for the portion of this site that is not continuing to support asphalt refinery operations, and an amendment to the LUB will be required to accommodate the desired change.

TABLE 2 - Existing Land Use

Legal	Existing Land Use
NE 13-20-29-W4	INR
Block 2, Plan 941 0556	REC
Lot 2, Block 4, Plan 121 3109	INR
Lot 3, Block 4, Plan 131 1304	INR

Figure 5: Existing Land Use also depicts the land uses surrounding the subject lands:

- + The lands to the west are a mixture of Agricultural (A) and Business Park (BP) districts, the latter of which supports the uses within the Warner Business Park
- + The lands to the south, across 393 Avenue, are a mix of Agricultural (A), Municipal Reserve (MR), and Highway Commercial (HC) districts, the latter of which presently supports a Restaurant and Gas Station
- + The lands to the east, across Highway 2, are a mix of Agricultural (A), Municipal Reserve (MR), and Country Residential (CR) districts.
- + The lands to the north / northeast are Direct Control (DC) and Business Park (BP) districts, primarily to support the recreational uses of Country Lanes Estates.

FIGURE 6 | EXISTING STRUCTURES



2.1.3 Existing Structures

The structures currently found on site are contained entirely to Lot 3, Block 4, Plan 131 1304, and the area extending north from it within the western portion of NE 13-20-29-W4. All structures and uses are in support of the asphalt refinery operations found within this area.

While other structures were in place in the remaining portion of NE 13-20-29-W4 and Lot 2, Block 4, Plan 121 3109, these have been removed or will be removed to accommodate the ongoing remediation on site, following the depletion of aggregate sources and the discontinuation of their extraction.

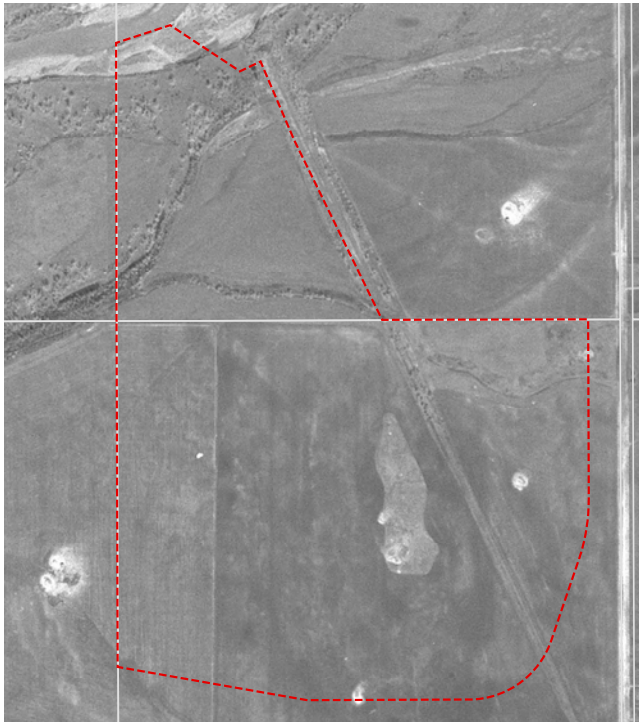
2.1.4 Current Servicing

The subject lands are presently unserviced for both potable water and waste water.

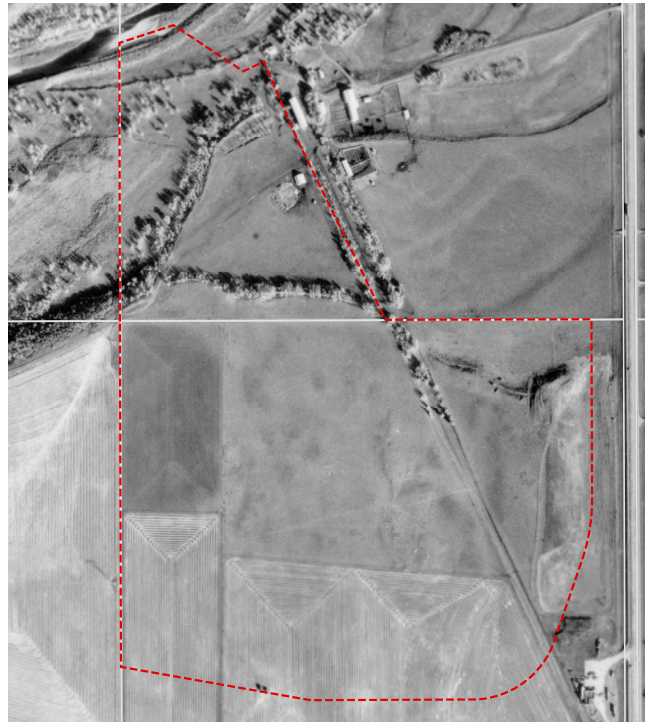
It is important to note that section 6.1.1 of the H2A IASP states that “other than Country Residential development that meets the density provisions set forth in the LUB and Interim development as deemed appropriate by the Approving Authority, ALL new development within the plan area shall be serviced by piped water.”

While water and wastewater servicing is currently unavailable on site, the project team has engaged with preliminary discussions with Foothills County staff, who have relayed intentions to have the project location serviced with potable water by early 2026, and wastewater by early 2027. The intention behind submitting this application in 2025 is to have the site prepared to move into development phases as these servicing connections come online.

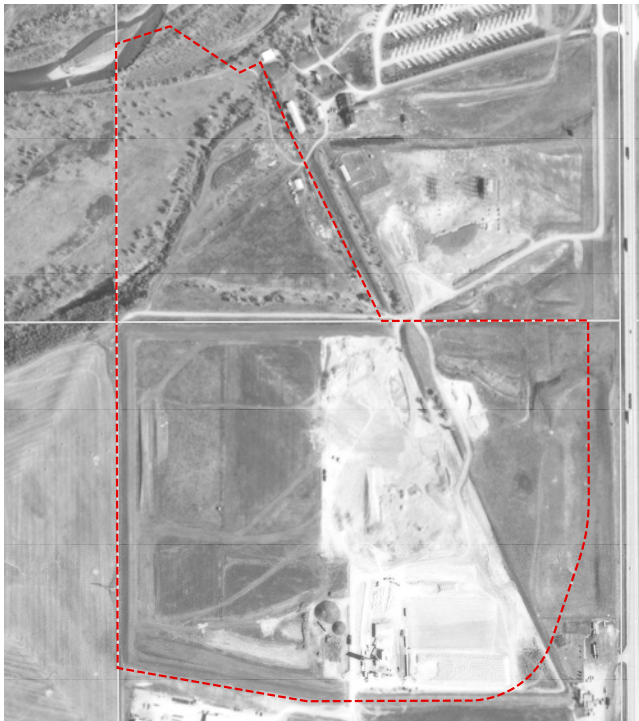
FIGURE 7 | HISTORICAL AIR PHOTOS



1950



1982



2003



2020

2.2 Physical History & Heritage

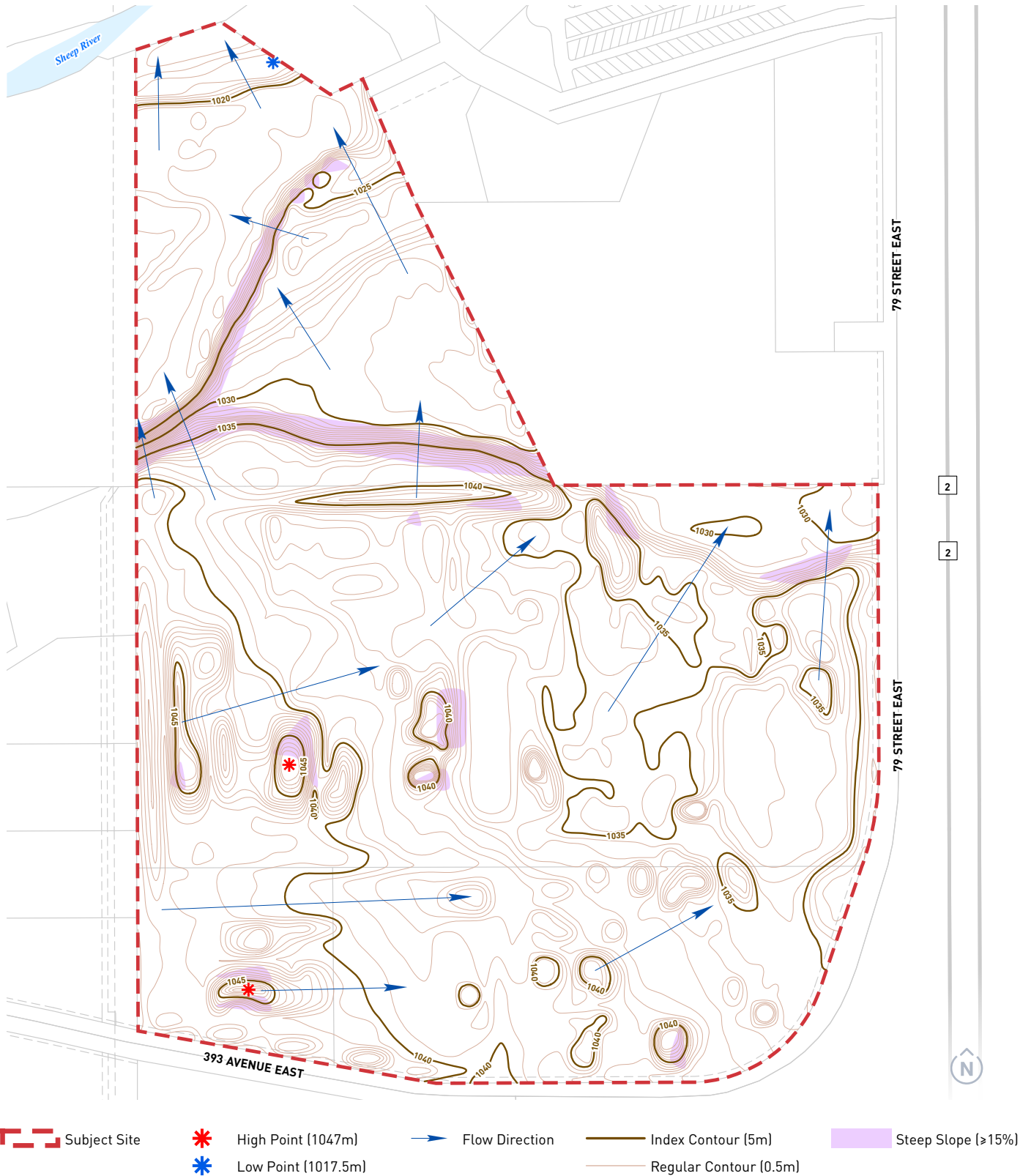
The subject lands contain an active aggregate mining/extraction operation alongside an asphalt plant and associated warehouse/industrial buildings with ± 16.7 ac at the north end of lands located within the Sheep River floodway. The aggregate resources on site are nearing depletion and, as such, the land owner, Volker Stevin, is considering 'higher and better' end uses for the land holdings. The asphalt plant and associated buildings have a remaining expected lifespan of approximately 20+ years, at which point they are expected to transition to uses in line with what it proposed for the balance of the site. Previous to the aggregate operations on site, the majority of the land and soils were disturbed for agricultural uses.

Lands closer to the Sheep River have been used for more recreational parks and open space uses in the past, when the area was known as Golden Sands Park. Part of the plan vision to rehabilitate Plan 9410556 Block 2 for recreational / natural preserve uses is a reflection of these previous uses.

A development permit is in place for the ongoing remediation of NE 13-20-29-W4 and Lot 2, Block 4, Plan 121 3109. It is understood that one of the conditions of approval (defined as a requirement that must be maintained throughout the 36-month period with the permit issued on January 23, 2024) states that operations will not be deemed complete until reclamation and rehabilitation of the property have been completed, with proof of final sign-off from Alberta Environment required to be provided to the County. To advance this process, the developer has completed both a Phase I and Phase II ESA, and carried out the remediation work identified as necessary. Further information can be found in the Phase I and Phase II ESAs, as referenced in Section 7.0 of this Outline Plan.

The developer has engaged Alberta Environment to finalize this process, and understands that Alberta Environment's approval will be required prior to subdivision of the subject lands. Please refer to Section 6.3 (Proposed Subdivision) for more detail.

FIGURE 8 | TOPOGRAPHY



2.3 Natural Features Identification

2.3.1 Topography

As shown in **Figure 8: Topography**, the lowest elevation for the site is located at its northernmost point, where it intersects the Sheep River, and it gains in elevation as it moves south. There are two prominent topographical gains, which primarily impact the north parcel (located within SE 24-20-29-W4):

- + The land is mostly flat from the Sheep River to the first elevation gain. This area is all designated as floodway, so development will be restricted and any impacts will be limited to improvements at the discretion of the County and Province.
- + From the first elevation gain to the second (immediately north of the parcel boundary for the parcel legally described as NE 13-20-29-W4), this shelf of land has seen very little impacts from previous agricultural and industrial uses, and has been identified as a preferred location for the necessary stormwater management infrastructure.
- + The remainder of the site (NE 13-20-29-W4) is mostly flat, and generally slopes downward to the east-southeast. There is a minor depression in the northeast corner of this parcel which would have to be accounted for in the engineering and design of this site to accommodate the intended uses.

In consideration of these significant elevation gains, **Figure 8: Topography** also indicates the areas where the subject lands are impacted by steep slopes of greater than 15%:

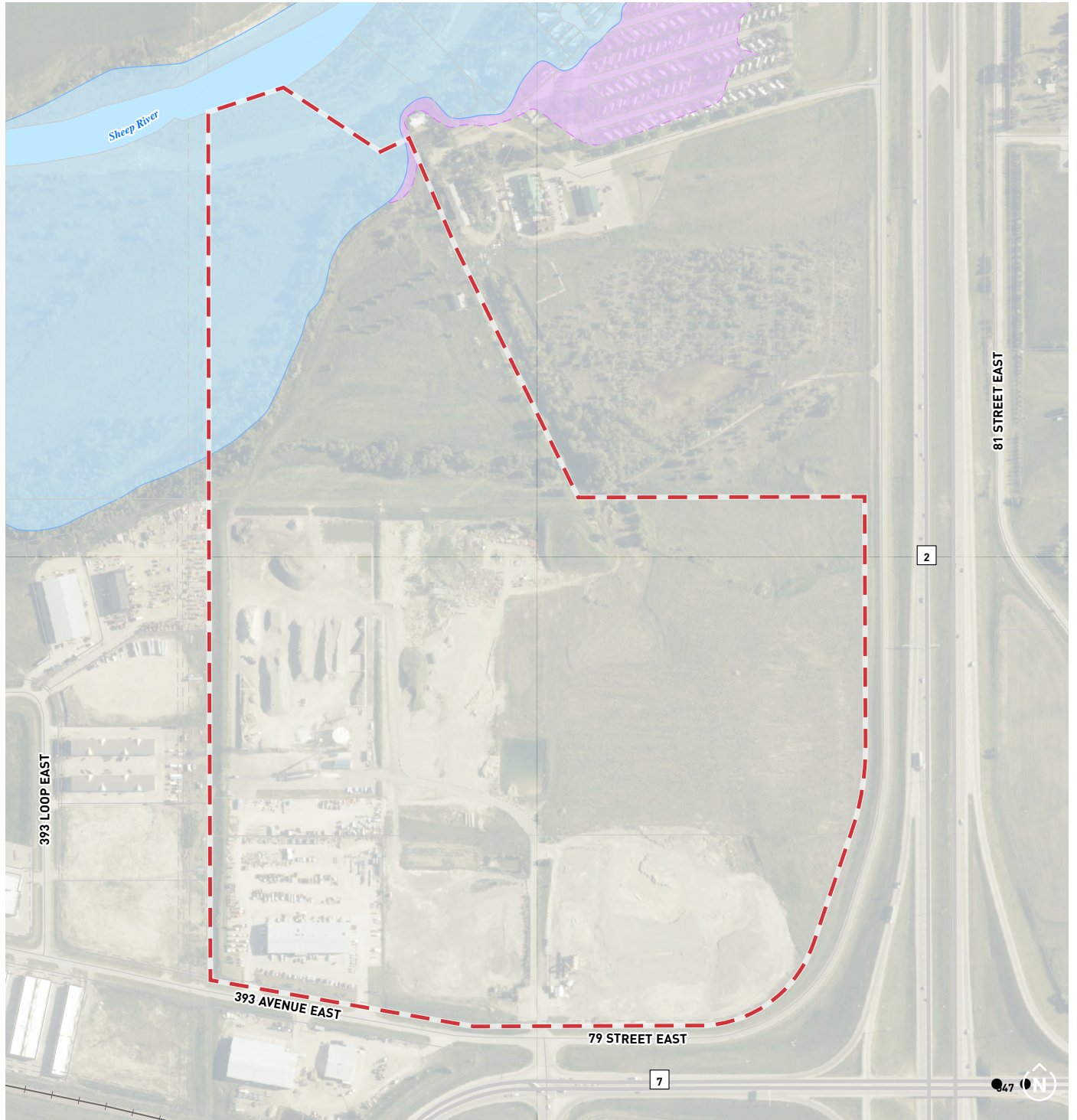
- + The steep slopes located within SE 24-20-29-W4 will remain undisturbed and, as such, will have all development set back by the required amount. The Geotechnical Evaluation provided by Englobe in support of this submission has recommended a development setback of up to 12 metres from these slopes, while also providing options to reduce the setback distance by flattening the slope through backfilling. Please refer to the project site's Geotechnical Evaluation (see section 7 of this Outline Plan) for further details.
- + The steep slopes located within NE 13-20-29-W4 will be impacted by the intended grading and stabilization to allow the proposed uses on site. A site grading plan will be provided prior to development that confirms the proposed changes, and we understand that these will be subject to County approval.

The site is also narrowly impacted by the Sheep River watercourse setback requirements, which prohibit development within 30 metres of the south bank of the Sheep River. This area is within the Sheep River floodway, which extends much further south and – as such – this setback requirement is already more than adequately accounted for.

Policy 2.4.1.1

The developer shall complete a Site Grading Plan to the satisfaction of the County, to be completed at the Subdivision stage.

FIGURE 9 | FLOOD MAPPING



2.3.2 Flood Hazard Considerations

The subject site is intersected by the Sheep River at its northern boundary, and the ± 16.7 ac area extending south from this point is designated as floodway by the provincial government, as shown in **Figure 9: Flood Mapping**. Development is restricted in this area and any interventions (i.e. trail improvements) shall be appropriately sensitive to the existing ecology, and approved by the necessary municipal and provincial bodies. The remainder of the site is otherwise outside of any Environmentally Significant Areas identified within the H2AISP.

Policy 2.3.2.1	<i>Development within the 1:100 year flood hazards area as identified by the Alberta government shall be restricted unless approved by both the County and the Province.</i>
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2.3.3 Environmental Features

A Biophysical Impact Assessment (BIA) was undertaken by ISL Engineering and Land Services, which included evaluations of the following site features based on a combination of desktop reviews and on-site fieldwork: terrain; topography and soils; geology; hydrogeology and geomorphology; vegetation; wildlife and wildlife habitat; wetland and aquatic resources, and; historical resources. Their recommendations for interventions to enable the intended development on site were focused primarily around two issues: wildlife activity in the area, and wetlands in the area.

- + Activity impacting area wildlife is regulated by the **Alberta Wildlife Act and Migratory Bird Convention Act**. Identified species that may be impacted include migratory / nesting birds, raptors and owls, amphibians and bats. Construction should occur outside of sensitive times for the species identified (February – September): if construction is to take place during this period, the area should be preemptively swept and monitored for activity from the identified species. Should evidence of such activity be found, mitigative measures (such as setbacks, fencing, etc.) are identified within the BIA.
- + Two wetlands were identified within the subject lands, and activity impacting them is regulated by the **Water Act**:
 - » A wetland has been identified within the northern portion of the lands proposed to be dedicated as Environmental Reserve (ER). Given the recommended setback area would be contained within the proposed ER dedication, no additional development setbacks are recommended.
 - » A wetland has been identified within the portion of the lands proposed to be redesignated as Business Park (BP), and will be disturbed as a result of the proposed development. Discharge and removal of this wetland will require a Water Act approval, and as such no setbacks are recommended.

Full details of methodology and findings are provided in the BIA as referenced in Section 7.0 of this report.

Policy 2.3.3.1	<i>The developer shall follow the recommendations and requirements of the 2025 Biophysical Impact Assessment (BIA) authored by ISL Engineering, to the satisfaction of the County.</i>
Policy 2.3.3.2	<i>Should construction take place on site between the months of February and September, the developer shall follow the monitoring and mitigation measures outlined in the 2025 BIA, to the satisfaction of the required regulatory bodies.</i>
Policy 2.3.3.3	<i>Approvals for the discharge and removal of Wetland 1, as identified in the 2025 BIA, shall be secured at the subdivision stage, to the satisfaction of the County and provincial approving bodies.</i>



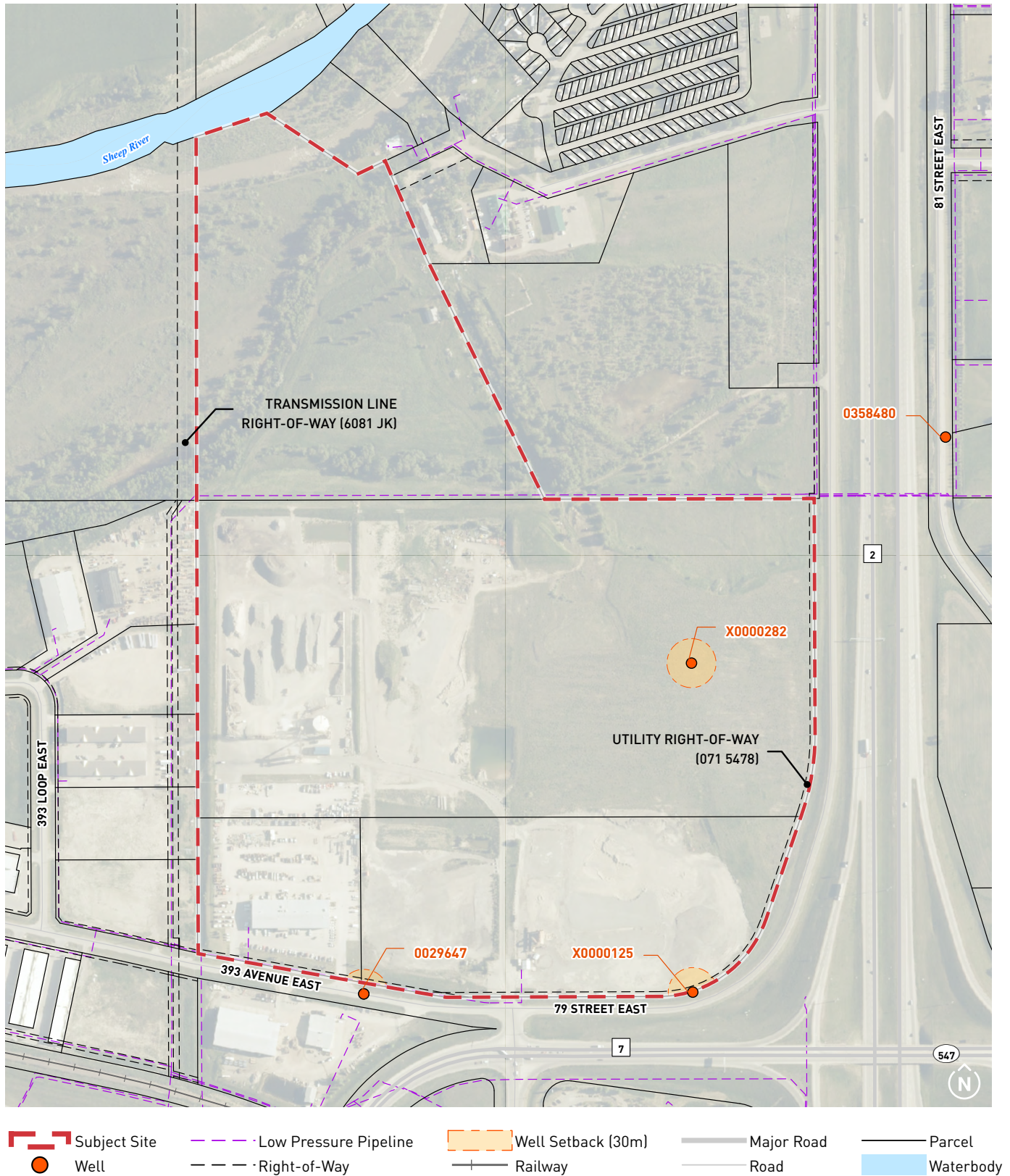
2.3.4 Preliminary Geotechnical Evaluation

The Preliminary Geotechnical Evaluation provided by Englobe in support of this submission assesses the subsurface conditions of the Outline Plan area for storm pond and overall site development. The subsurface conditions generally consist of sand and clay deposits overlying sedimentary bedrock. While the referenced Analysis should be considered in its totality, some key features are highlighted below:

- + The subject site is suitable for the proposed land development provided the recommendations within Englobe’s report are followed. Site specific geotechnical evaluations will be required for any structural development to generate specific recommendations with respect to design parameters.
- + Any weak soils if encountered should be over excavated and replaced by engineered fill if structure developments are planned within any weak soil zone.
- + All organic topsoil, deleterious soils and vegetation should be removed from areas to be filled and cannot be re-used used for site grading. Prior to construction, any organic soil, vegetation, and poor-quality fill material encountered should be removed from areas under proposed buildings or parking areas.
- + The sandy soil layer encountered at the site is considered problematic from a geotechnical standpoint. It has very low bearing capacity and is prone to sloughing and significant water seepage. This soil should be carefully considered in all future design and construction activities, such as excavation, dewatering, pile installation, as well as slope stability and seepage analysis.
- + A deep foundation is the most appropriate choice for the proposed industrial development. Given the relatively shallow depth of bedrock, averaging 5 meters below the existing grade, rock-socketed bored cast-in-place piles are the most feasible option.
- + A shallow foundation on native soil is not suitable for the proposed industrial development due to the presence of loose sand layer extending to bedrock. However, for light structures such as retaining walls, strip footings could be used to support such loads.
- + The subgrade conditions at the site are considered suitable for slab-on-grade support and the proposed vehicle routes and parking areas, provided certain precautions are undertaken
- + The surficial on-site silt and silty clay soils encountered throughout the site should be considered highly front susceptible which will result in frost heave displacement in the soil when frozen.

Policy 2.3.4.1	<i>The developer shall prepare a Site Grading Plan at the subdivision stage to the satisfaction of the County.</i>
Policy 2.3.4.2	<i>The developer shall prepare an updated Geotechnical Evaluation at the subdivision stage that addresses necessary site-specific mitigations in the Site Grading Plan to the satisfaction of the County.</i>

FIGURE 10 | DEVELOPMENT CONSTRAINTS



2.4 Infrastructure on Site

2.4.1 Well Sites

The subject lands have potential impacts from three well sites either within or immediately outside the site boundaries, as identified in **Figure 10: Development Constraints**. All three well sites have their status listed as abandoned, and do not carry a H₂S release rate (which is the indicator for sour gas), so impacts to development as a result of minimum setbacks will be minimal. Please see **Table 3** for additional information on these individual well sites.

Development surrounding abandoned well sites is regulated by AER Directive 079, which requires a minimum 5 metre development setback. However, Directive 079 lists the 5-metre setback only as an absolute minimum and notes that municipalities and operators often require greater setback distances than this to allow for adequate space for a drill rig to access the wellbore in the case that additional work must be conducted on site: based on industry experience, operators often look for a 15-30 metre setback and adequate access to the well site. The ultimate setback requirements will be determined prior to development and adhered to for the placement of any permanent structures.

TABLE 3: Wellsite Information

Well Name	License #	Quarter Section	Status	License Status
DRUMHELLER SAM #1	X0000125	09-13-020-29-W4M	ABANDONED	RecExempt
HOME ET AL OKOTOKS 10-13-20-29	0029647	10-13-020-29-W4M	ABANDONED	RecCertified
RANCHMEN'S #1	X0000282	16-13-020-29-W4M	ABANDONED	RecExempt

2.4.2 Utility Right-of-Way

The subject lands are intersected by Utility Right-of-Way 071 5478 along their easternmost and southern boundaries, which accommodate an existing overhead powerline corridor extending beyond this site in both directions. Development within this right-of-way will incorporate this existing infrastructure, and current development concept all include this right of way within a designated landscape setback.

2.4.3 Low Pressure Pipelines

The subject lands are intersected by low pressure pipelines moving in an east-west alignment adjacent to the south boundary of the northernmost parcel (Block 2, Plan 9410556). Any development in this area will require communications with, and approval from, the impacted license-holders.

Policy 2.4.3.1	<i>All development within 30m of an abandoned wellsite shall require consultation with operator for appropriate access, and integrating this access will be done in consultation with said operator prior to subsequent development application approvals.</i>
Policy 2.4.3.2	<i>All development impacting low-pressure pipelines indicated in Figure 10: Development Constraints, or within Utility Right-of-Way 071 5478 shall require the consent of the relevant utility partners and must ensure that design and implementation is to the satisfaction of said utility partners and the County</i>
Policy 2.4.3.3	<i>Abandoned wellsites within Outline Plan area shall be identified through conspicuous on-site markings.</i>
Policy 2.4.3.4	<i>Abandoned wellsites within Outline Plan shall be identified in figures to be included in future Subdivision and Development Plan applications.</i>



2.4.4 Historical Resources

As per the requirements of Section 37(2) of the Historical Resources Act, an Historical Resources Impact Assessment (HRIA) was required for the subject lands. Since the lands situated in proximity to the Sheep River were considered most likely to contain evidence of previous human settlement and the former aggregate mining operations would have already heavily disturbed the lands located within NE 13-20-29W4, the Assessment focused its investigation primarily within the northern portion of the subject lands.

An initial review determined that there were no requirements pursuant to Indigenous Traditional Use Sites, Historic Structures, or Provincially Designated Historic Resources. However, an assessment for palaeontological resources was required.

To satisfy these requirements, Lifeways of Canada (Lifeways) undertook fieldwork on August 13, 2025 to perform this assessment under frost-free and snow-free conditions. No additional historic resources were observed during the HRIA. Given the negative results, and the extent of disturbance observed throughout the project area due to previous aggregate extraction, Lifeways determined that Historic Resources Act Approval with no additional fieldwork pertaining to the archaeological resources is recommended for the project site.

The HRIA was submitted to the Historical Resource Management Branch on October 20, 2025. While the Historical Resources Act approval was recommended, further review is required before it is officially granted as of the present submission of this Outline Plan document.

For more details, please see the full HRIA as referenced in Section 7.0 of this Outline Plan.

Policy 2.4.3.1

Excavation on site shall not occur until Historical Resources Act approval has been granted to the satisfaction of the Province of Alberta.

3.0

DEVELOPMENT |
CONCEPT



3.0 Development Concept

The Foothills Logistics Centre is envisioned as a transportation and logistics hub within Foothills County, servicing the Calgary Metropolitan Region and beyond as a major port-of-call for truck-shipping routes moving through both north-south and east-west trade corridors. The proposed development is aligned with the Highway 2A Industrial ASP, the County's primary policy for the Outline Plan area, and represents an immediate and strategically sound return on investment for major utility servicing projects that are presently underway within the County. This Outline Plan's design has been developed with the following project targets determining final outcomes:



Create a transportation and logistics center that can operate as a hub for regional, national, and international shipping routes with large and versatile parcels.



Provide an effective and attractive gateway to the south end of the subject site, and incorporate strong design measures and visual appeal in the area adjacent to Highway 2.



Establish a highly effective internal road structure, prioritizing clean and efficient access/exits from the site and functional, operational circulation within and among internal site uses.



Protect and preserve the flood prone areas adjacent to the Sheep River, while enhancing all naturalized areas through the incorporation of regional recreational uses.

FIGURE 11 | DEVELOPMENT CONCEPT



The Foothills Logistics Centre will establish an internal subdivision road network, and include a mix of commercial, industrial, and open space / public utility parcels as generally illustrated in **Figure 11: Development Concept**. Commercial uses will front 79 Street E and Highway 7, and back on to the internal leg of 393 Ave E. Industrial uses will front both the internal spine road and the east & west boundaries of their individual lots (the existing asphalt refinery operations and Highway 2 respectively), with the back end of buildings directed to the center of their individual parcels. All portions of the site proposed to contain businesses (commercial or industrial) will be situated above the Sheep River floodway area.

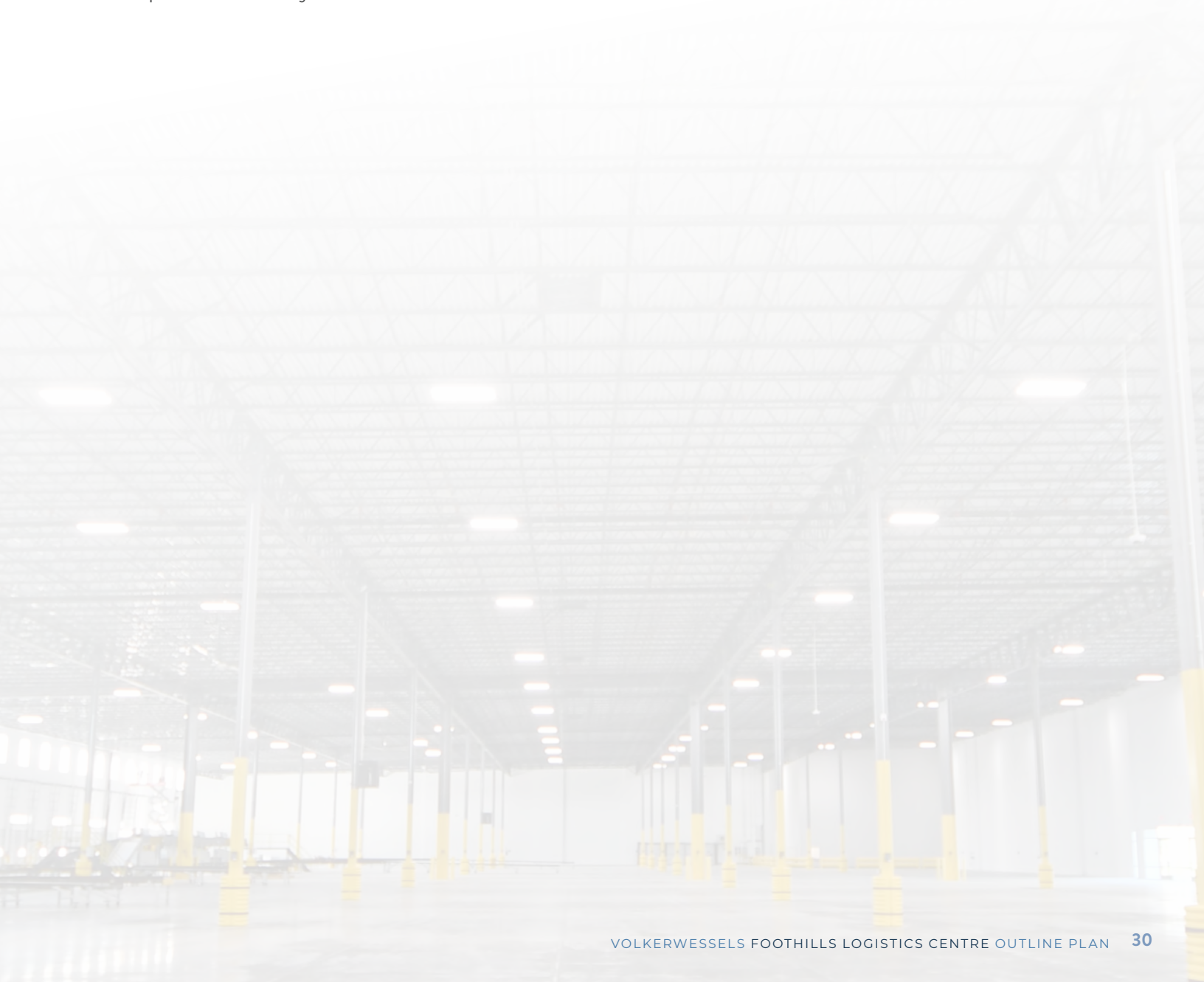
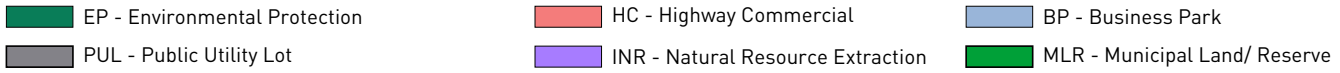
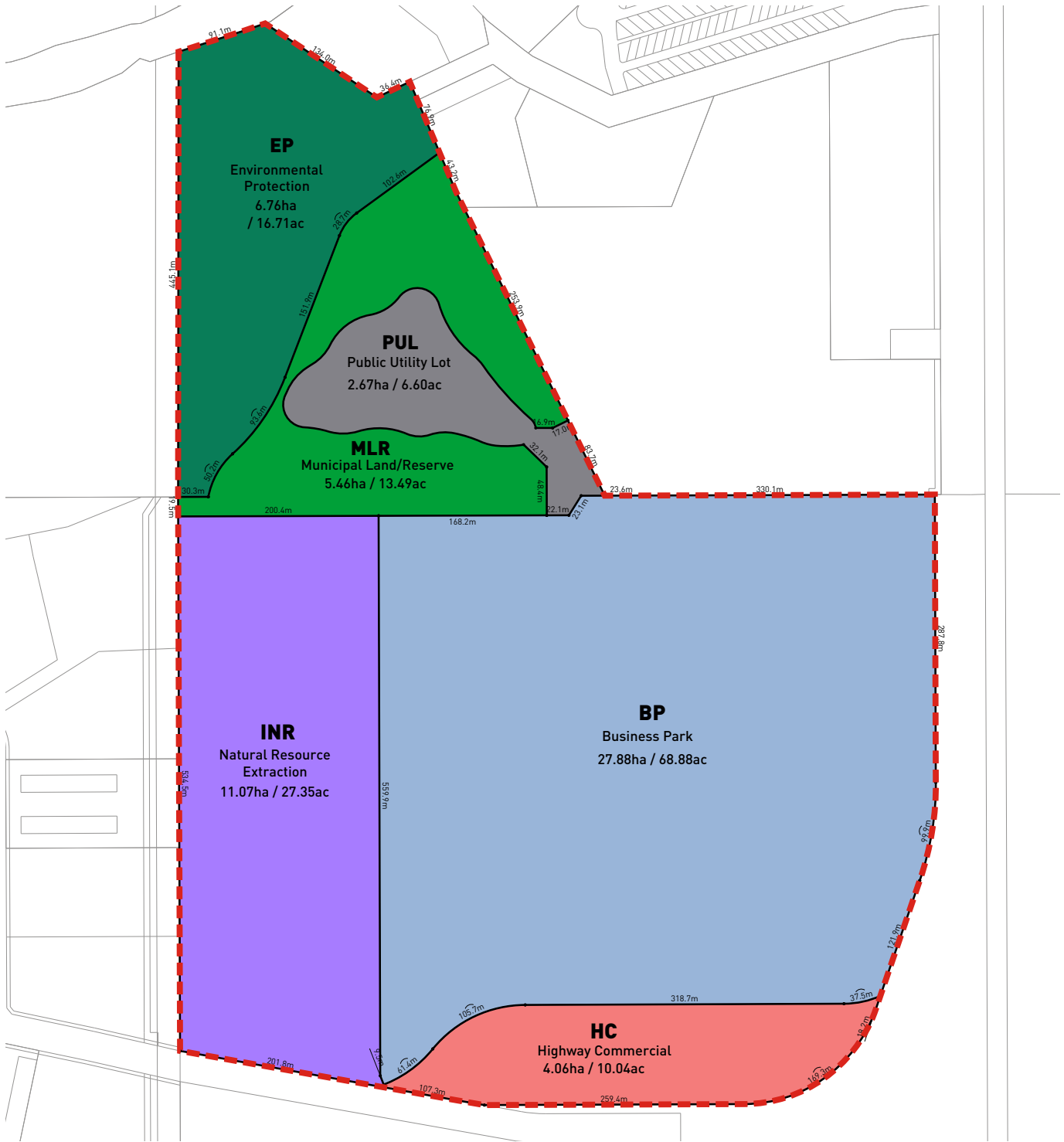


FIGURE 12 | LAND USE CONCEPT



3.1 Proposed Land Use Concept

3.1.1 Business Park District (BP)

Purpose: To accommodate a combination of business and industrial activities within a comprehensively planned development in accordance with an approved area structure plan or outline plan. Business parks are encouraged to be located within the Highway 2A corridor on lands covered by the Highway 2A Industrial Area Structure plan in accordance with the Industrial Commercial land use concept.

Outline Plan Application: Accommodating the transportation and logistics / shipping uses envisioned as the heart of the site, both spatially and functionally. This district is the preeminent land use for industrial-commercial uses in the surrounding area, and while these tend more toward smaller land assemblies and building footprints, this district implies more controls against the standard industrial uses that this development intends to separate itself from through general design and architectural controls

Design Considerations: According to Section 14.1.5 of the County's Land Use Bylaw (LUB), unless otherwise determined by the Approving Authority, the minimum parcel size for BP parcels is:

- i. 929.0 m² (10,000 ft²) for lots serviced by a municipal or communal piped sewer and water system.
- ii. 1,858 m² (20,000 ft²) for lots serviced by a piped water system, and an advanced package sewage treatment system.

Furthermore, no building or group of buildings including their accessory buildings and impervious surfaces shall cover more than 60 percent of the lot area.

Site Specific Zoning Amendment: An amendment shall be applied to any parcels zoned as Business Park within the Outline Plan area, accommodating the following provisions:

- + **Maximum Height of Structure**, as defined in section 14.1.6.5 of the Foothills County LUB, will be raised from 12 metres to 16 metres.
- + The following uses will be moved from Discretionary Uses (LUB section 14.1.4) to Permitted Uses (LUB section 14.1.3):
 - » Business Office
 - » Industrial, storage and warehousing
 - » Industry, general
 - » Industry, light
 - » Manufacturing, light
 - » Utility services, minor
 - » Warehousing and storage

3.1.2 Highway Commercial District (HC)

Purpose: To accommodate a diverse range of commercial uses along highways and major transportation corridors intended to provide services to the travelling public and tourist and include businesses that require a high degree of visibility and/or ease of access to transportation routes.

Outline Plan Application: Accommodating the commercial uses proposed at the south end of the subject site, providing an attractive gateway feature to the site and benefiting both travelers and nearby residents.

Design Considerations: According to Section 15.3.5 of the County's Land Use Bylaw (LUB), unless otherwise determined by the Approving Authority, the minimum parcel size for HC parcels is the lesser between:

- + The area on title at the time the LUB was passed; or
- + 1.0 ac.

3.1.3 Natural Resource Extraction (INR) District

Purpose: To accommodate industrial uses related to non-renewable natural resource extraction and processing.

Outline Plan Application: Accommodating the existing asphalt refinery operations on the west portion on site that must remain for the next 20-30 years.

3.1.4 Municipal Land/Reserve District (MLR)

Purpose: To allow for schools, parks, community facilities on municipally owned recreational or education properties, and land dedicated as school reserve, municipal school reserve, community reserve, public reserve, and reserve pursuant to the Municipal Government Act or its predecessors

Outline Plan Application: Incorporating green spaces and passive uses in spaces strategically located to best accommodate activities on site while fulfilling County requirements for MR allotments.

Dedication Requirement: Foothills County's Municipal Reserve Policy, which satisfies the requirements of Section 666(1) of the Municipal Government Act, sets the County's regulations for what land must be provided for Municipal Reserve (MR), or if/when money can be provided in place of MR (cash-in-lieu). This regulation dictates that reserves greater than 1.98 ac must be shown as a separate lot on the site plan. MR requirements on this site may be satisfied through a combination of both MR dedication and cash-in-lieu, depending on the individual parcel envisioned to be created at the subdivision stage. Additional details on the requirements for MR dedication are provided in Section 3.4.2 of this report, which indicates that due to the gross developable area of 126.19 acres within the plan area, 12.62 acres must be dedicated as MR, as currently proposed.

3.1.5 Public Utility District (PUL)

Purpose: To accommodate public and private utilities and facilities needed to serve the development.

Outline Plan Application: Providing a location for utility infrastructure to support site uses.

3.1.6 Environmental Protection (EP) District

Purpose: To provide for the preservation and protection of land determined to be environmentally significant

Outline Plan Application: Providing a district for the area dedicated to Environmental Reserve within the plan area.

Table 4 - Proposed Land Use Statistics

Land Use District	HA	AC	%
Business Park (BP)	27.88	68.88	48.4
Highway Commercial (HC)	4.06	10.04	7.3
Natural Resource Extraction District (INR)	11.07	27.35	19.2
Municipal Land/Reserve (MLR)	5.46	13.49	9.5
Public Utility (PUL)	2.67	6.60	4.6
Environmental Protection (EP)	6.76	16.71	11.7

Policy 3.1.6.1	<i>The final configuration of all land use districts and dedications shall be generally in accordance with Figure 12: Land Use Concept.</i>
Policy 3.1.6.2	<i>A concurrent Land Use Bylaw amendment for the Foothills Logistics Centre shall be submitted with the Outline Plan application.</i>

FIGURE 13 | KEY TRANSPORTATION IMPROVEMENTS



3.2 Transportation

3.2.1 Existing Conditions

To inform the design of the proposed development, conditions of the surrounding area were considered and acted upon to support any ultimate traffic analysis for the site. The existing asphalt operations are currently accessed via 79 Street by way of Highway 7. This same point of entry currently provides access to both Country Lane Estates to the east (via 79 Street), and the Warner Business Park to the west (via 393 Avenue). In support of the presently proposed Outline Plan, certain areas have been identified as requiring certain structural or operational interventions, as depicted in **Figure 13: Key Transportation Improvements**.

1. To accommodate the requirements for the level of development envisioned for the site, a secondary / emergency access route will be required. **The west boundary of the Outline Plan area extending north from 393 Avenue was identified for the location of a secondary site access.**
2. The existing connection to the Outline Plan area off of Highway 7 was identified as being too small to support the intended operations, while also being highlighted in community engagement efforts as being undesirable for access to both Warner Business Park occupants and Country Lane Estates Residents. **A reorientation of the existing street network to create a more suitable stacking distance north of Highway 7 through an extension of 79 Street was identified as a critical requirement of operations for the site and its immediate neighbours.**
3. To accommodate the extension of 79 Street north into the subject site, a reorientation of its existing alignment moving east and then north toward Country Lane Estates was also identified. **A reorientation of the 79 Street alignment through the subject site was identified as a requirement for functional movement for the site and surrounding area.**
4. Both junctions of the Highway 2 / Highway 7 interchange are currently programmed without any traffic signals, which will not be sufficient for the traffic expected to be generated both as a result of the proposed development and anticipated background traffic growth. **A signalization of the junctions of Highway 2 and Highway 7 will be required.**

3.2.2 Traffic Impact Assessment (TIA)

ISL Engineering completed the Foothills Logistics Centre Transportation Impact Assessment (TIA) in April 2025 to determine near- and long-term requirements, and expected traffic volumes, for the Outline Plan area. An analysis of the transportation infrastructure and intersection configurations was used to inform the future transportation network strategy for the Outline Plan area. From the TIA's projections, the Foothills Logistics Centre generated 382 trips in the AM peak and 451 trips in the PM peak at full build-out (both 2035 and 2045).

To support the identified requirements for improvements to the surrounding transportation network, the following changes were identified and implemented into the Transportation strategy, as generally illustrated in **Figure 14: Transportation Concept**.

- + 79 Street has been extended north into the subject site as a 2-lane roadway (24.6 m road right-of-way), where it intersects with an altered alignment of 393 Avenue.
- + To improve traffic flow and honour the requests made of community members through public consultation, a two-lane round-about (55.0 m diameter) will be installed at the intersection of 393 Ave and 79 Street.
- + Retail traffic entering and exiting the two Highway Commercial parcels proposed south of the round-about intersection will access 79 Street via stop controlled right-in, right-out intersections.
- + The realignment of 79 Street extending east from the round-about intersection toward Country Lane estates (19.0 m road right-of-way) will be configured through the subject site, with a landscape screening buffer installed on the site's east boundary.
- + A central spine road extending north from the round-about intersection (24.6 m road right-of-way) will provide primary site entries to the site's General Industry parcels. At the north termination of these General Industry parcels, an emergency access road (19.0 m road right-of-way) will extend west and then south toward 393 Avenue.

Table 5 - Traffic Network Improvements provides a summary of the actions required in the 2035 and 2045 time horizons.

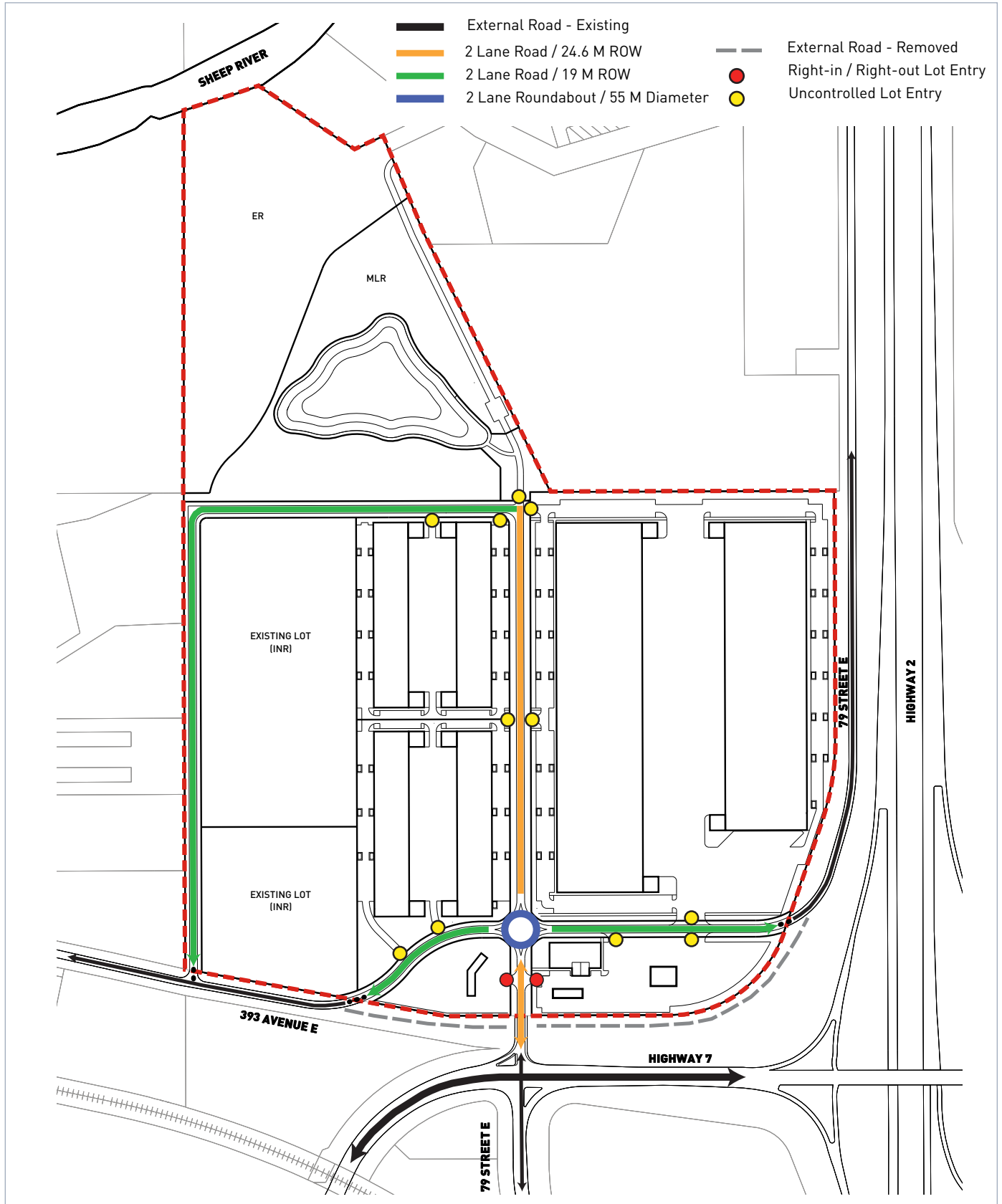
Table 5 – Traffic Network Improvements

Intersections	2035	2045
External		
Hwy 2 / Hwy 7 (east junction)	Hwy 2 / Hwy 7 (east junction)	Add traffic signal*
Hwy 2 / Hwy 7 (west junction)	Add traffic signal*	Add southbound left turn bay*
Hwy 7 / 79 Street	None	None
Hwy 7 / Hwy 2A	Upgrades per the HWY 2A / HWY 7 Corridor Review (4 lanes HWY 2A, dual southbound left, dual eastbound left)*	No additional upgrades
Internal		
79 Street Retail Access	Revise: Stop controlled (East RI, West RO)	No additional upgrades
79 Street / 393 Ave	Roundabout	No additional upgrades
79 Street (between 393 Ave and Hwy 7)	2-lane Industrial Street (Urban, City of Calgary) or 2-lane Industrial (Rural, Rocky View County)	No additional upgrades
393 Avenue	2-lane Industrial Street (Urban, City of Calgary) or 2-lane Industrial (Rural, County)	No additional upgrades

*Note: The external upgrades are required due to background traffic growth

Policy 3.2.2.1	<i>The developer shall construct a traffic signal in place of the stop sign located at the west junction of HWY 2 / HWY 7, in accordance with the recommendations of the Traffic Impact Assessment (ISL Engineering, April 2025) to the satisfaction of the County and Alberta Environment.</i>
Policy 3.2.2.2	<i>The developer shall construct an alternative alignment for 79th Street E, as generally illustrated in Figure 14: Transportation Concept to the satisfaction of the County and Alberta Environment..</i>
Policy 3.2.2.3	<i>The developer shall construct a road upgrade for the portion of 393 Avenue linking HWY 7 to 79 Street E, as generally illustrated in Figure 14: Transportation Concept, in accordance with the recommendations of the Traffic Impact Assessment (ISL Engineering, April 2025) to the satisfaction of the County and Alberta Environment.</i>
Policy 3.2.2.4	<i>The developer/landowner shall execute a Development Agreement to the satisfaction of the County and Alberta Transportation for the construction of all necessary external transportation infrastructure required to service the Plan Area and/or payment of off-site levies associated with the development of the transportation infrastructure which will benefit the development.</i>

FIGURE 14 | TRANSPORTATION CONCEPT



3.2.3 Local Transportation Improvements

The Foothills Logistics Centre will be accessed by a new paved internal road constructed by the developer in accordance with municipal engineering design standards as generally illustrated in **Figure 14: Transportation Concept**. The internal roads are proposed to range between 19.0m and 24.6m.

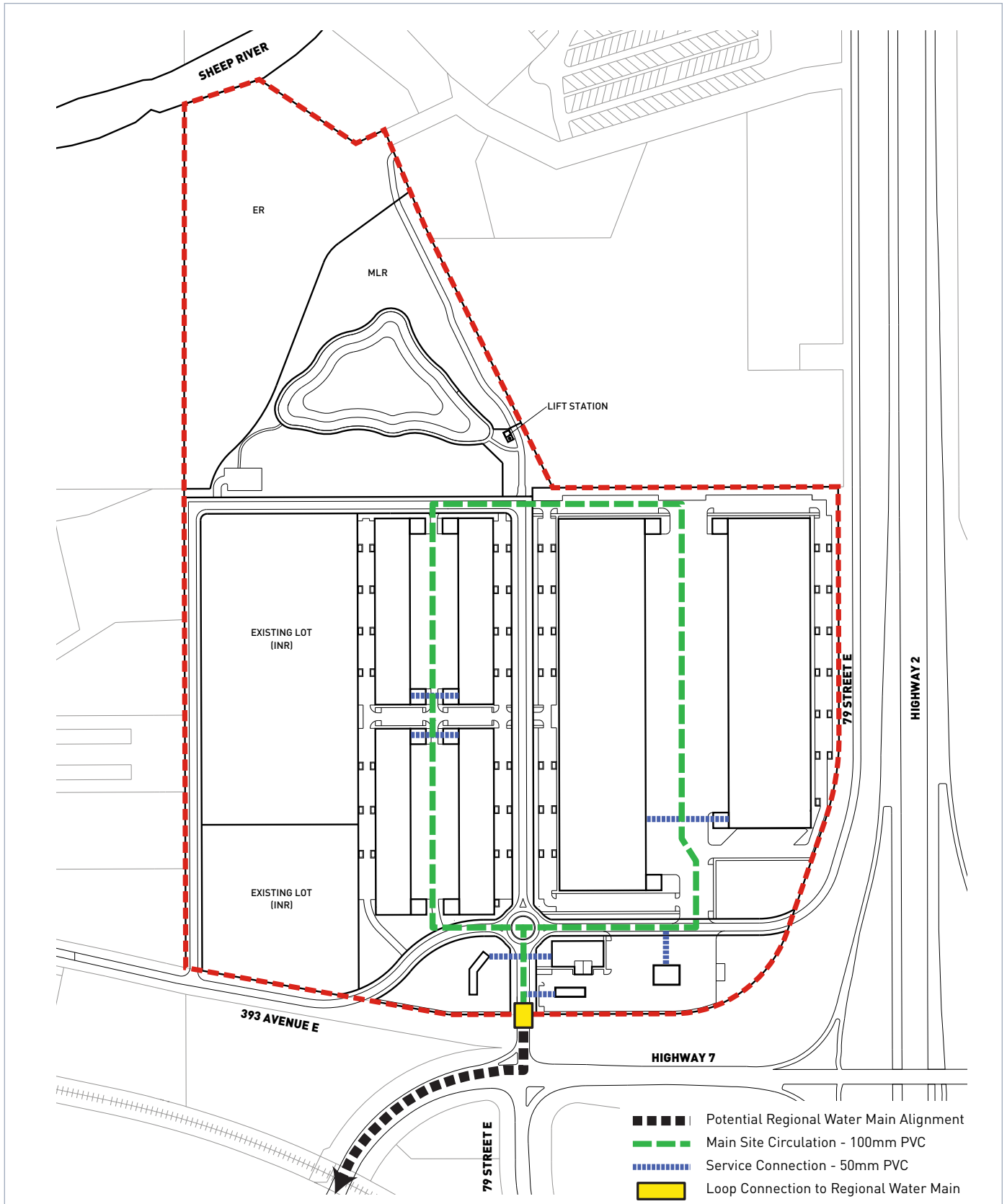
Policy 3.2.3.1	<i>Access within the Plan area shall be generally in accordance with Figure 13: Transportation Concept.</i>
Policy 3.2.3.2	<i>The internal subdivision road shall be designed and constructed by the developer with a paved surface in accordance with the County's engineering standards.</i>
Policy 3.2.3.3	<i>The developer/landowner shall execute a Development Agreement to the satisfaction of the County for the construction of all necessary transportation infrastructure required to service the Plan Area and/or payment of off-site levies associated with the development of the transportation infrastructure which will benefit the development.</i>
Policy 3.2.3.4	<i>In the event that the County seek to introduce transit services to the Outline Plan area, subsequent subdivision and development approvals should consider connections in road and right-of-way design.</i>

3.2.4 Street Lighting

In order to preserve the rural character and maintain dark skies, in accordance with County policy direction and policies seen elsewhere in this Outline Plan, street lighting is not anticipated in the interior Business Park (BP) parcels within the interior Outline Plan area. However, illumination will be required within the Highway Commercial (HC) parcels at the south end of the Outline Plan area and at the roundabout access intersection of 393 Ave E and 79 Street E, subject to the requirement of Alberta Transportation and Economic Corridors.

Policy 3.2.4.1	<i>Installation of street lighting is not expected within the interior General Industry (GI) parcels within the Outline Plan area to respect the 'dark skies' character of the surrounding area and County policy direction.</i>
Policy 3.2.4.2	<i>If required, the roundabout access intersection of 393 Ave E and 79 Street E may be illuminated in accordance with the County's Street Lighting Policy.</i>

FIGURE 15 | WATER SERVICING CONCEPT



3.3 Utility Servicing Considerations

As depicted in the Servicing Report prepared By ISL Engineering (referenced in Section 7.0 of this Outline Plan), potable water and sanitary sewer servicing will be provided by Foothills County's regional utility servicing network. Extension of this utility network into the plan area will be provided by the developer in accordance with all applicable provincial and municipal regulatory requirements and engineering design specifications.

For the proposed development within the plan area, the expected average daily demand is approximately 7.24 litres per second (or 625 cubic metres per day), and the expected fire flow requirement is approximately 27,000 litres per minute (or 450 litres per second). The County's current network planning basis provides 200-250 litres per second at system hydrants, which is below the Early Suppression Fast Response (ESFR) fire control threshold. Therefore, on-site measures, including dedicated fire-water cisterns and fire pumps/boosters, will be necessary to meet fire code requirements.

The developer has engaged senior level County staff to arrive at the understandings expressed in this Outline Plan, and the findings expressed herein represent the most informed assumptions available to both sides at the time of submission. Until such time as final servicing alignments for the site are determined, the internal site alignments as depicted in **Figure 15: Water Servicing Concept** and **Figure 15: Sanitary Servicing Concept** are conceptual and represent the developer's understanding of current conditions. Specific design of the sanitary service network within the plan area and final on-site Right-of-Way / Easement alignments will be confirmed at the subdivision approval stage in accordance with County standards and regulations.

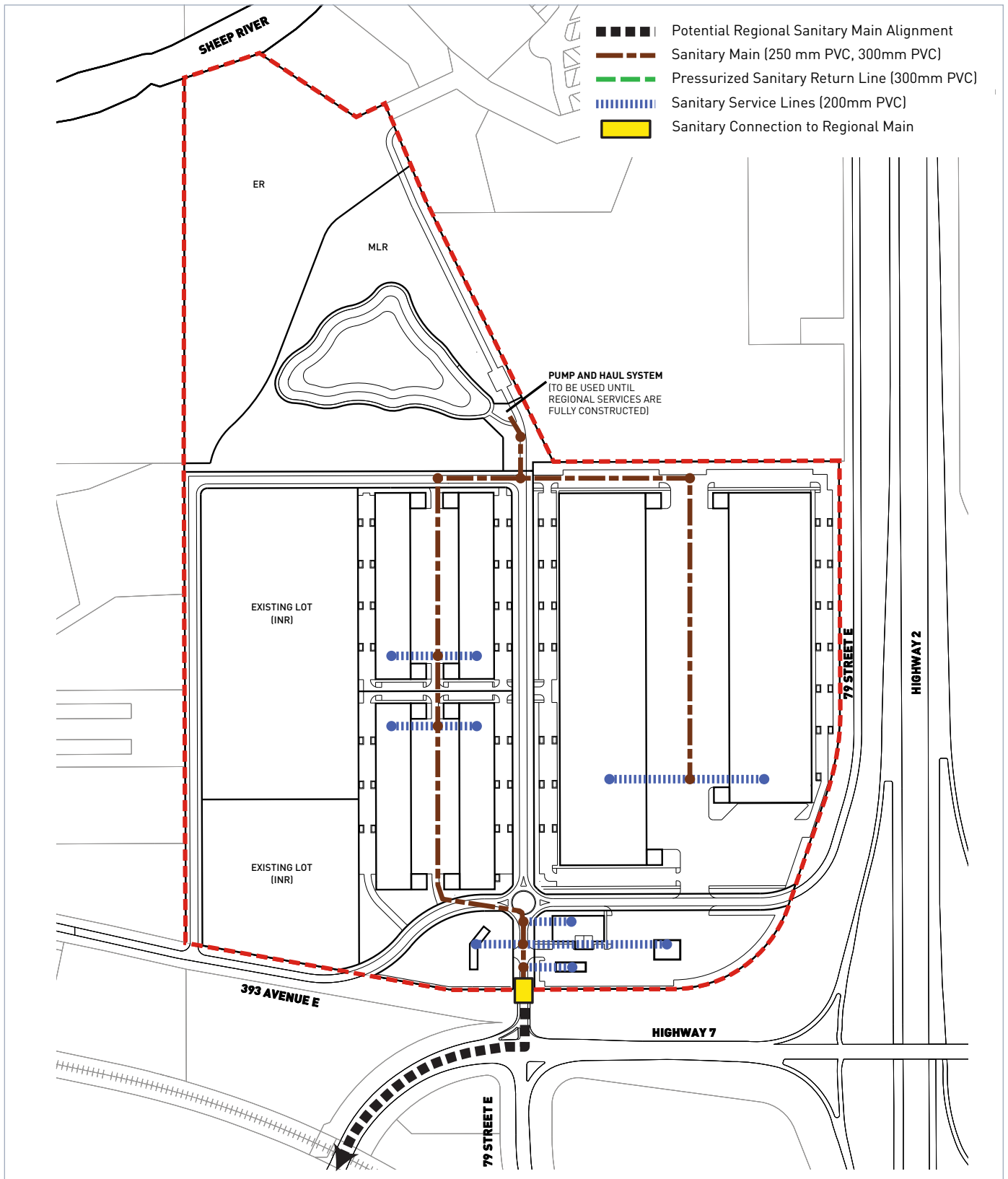
3.3.1 Potable Water Servicing

All new developments within the Plan area must be serviced by piped water. Water servicing for the Foothills Logistics Centre is planned to be provided through Foothills County's Aldersyde Water Treatment Plan program. Phase 1 will deliver roughly 1,000 cubic metres of potable water per day, with a commissioning target for late Spring 2026, sufficient to meet domestic needs at full build-out.

The Aldersyde area currently relies on a regional water main running north from High River to Aldersyde, which services portions of Aldersyde and Cargill. This main provides an estimated capacity of approximately 5.61 litres per second—adequate for existing uses but insufficient for full build-out demands. According to discussions with the County to support the creation of this Outline Plan, the system is expected to be upgraded in 2026 to meet future requirements. Within the site, water servicing will be looped to ensure redundancy and fire protection, as multiple hydrants are required. Until backbone upgrades occur, interim measures such as private hydrants, fire pumps, and sprinkler systems may be necessary to achieve required fire flows. Figure 15: Water Servicing Concept illustrates how the regional water main could connect to the new development.

Potable Water servicing within the site is expected to enter the site via a Loop Connection to the potential Regional Main from the primary site access along 79 Street E. Internal circulation via 300mm PVC will extend north from this connection and split east and west at the 79 Street–393 Avenue intersection, turn north through the internal corridors of Lots 3/4 and 5, and connect once again at the northern limits of these two lots. Individual buildings will be serviced at the indicated locations via WAT 100mm PVC.

FIGURE 16 | SANITARY SERVICING CONCEPT



Policy 3.3.1.1	<i>The developer shall construct a potable water distribution network within the Foothills Logistics Centre as generally illustrated in Figure 15: Water Servicing Concept to the satisfaction of the County.</i>
Policy 3.3.1.2	<i>All potable water infrastructure shall be designed and constructed by the developer in accordance with the County's Development Agreement process, standards, and applicable regulatory approvals.</i>
Policy 3.3.1.3	<i>The potable water service within the Outline Plan area shall accommodate fire suppression in accordance with County Standards and applicable regulatory requirements.</i>
Policy 3.3.1.4	<i>Pursuant to Polic 3.3.1.3, wherever necessary the developer shall provide on-site measures to meet ESFR fire control threshold requirements to the satisfaction of the County.</i>
Policy 3.3.1.5	<i>The developer/landowner shall execute a Development Agreement to the satisfaction of the County for the construction of all necessary servicing infrastructure required to service the Plan Area and/or payment of off-site levies associated with the development of the servicing infrastructure which will benefit the development.</i>

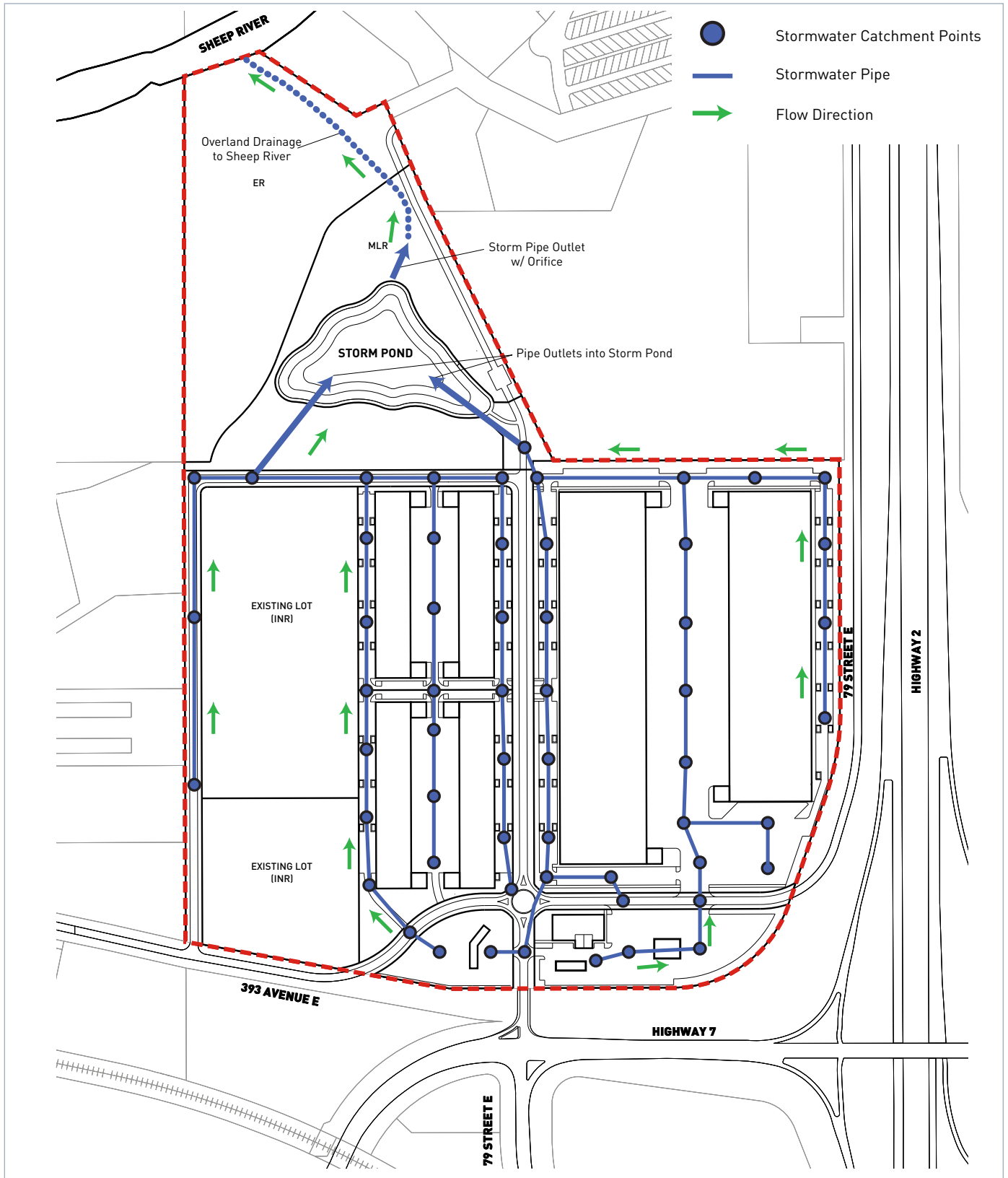
3.3.2 Sanitary Servicing

No municipal sanitary sewer system currently exists in the Aldersyde area, and the site is not connected to any regional infrastructure. Foothills County is advancing plans for regional sanitary servicing, evaluating two options: a joint conveyance to the High River Waste Water Treatment Plant or a County-led Aldersyde Waste Water Treatment Plant, with the preferred alternative expected by year-end 2025 and construction proceeding into 2026. Until permanent infrastructure is available, wastewater will need to be managed through temporary measures such as pump-and-haul operations, with alternative solutions like on-site treatment units or septic systems considered if early occupancy occurs before upgrades are completed.

The intention for this site is to prepare development for the eventual connections to sanitary servicing. Figure 16: Sanitary Servicing Concept depicts intended internal site alignments, which would ultimately have to be confirmed as regional servicing connections are likewise confirmed. As with the intended potable water alignment, a connection to the potential regional sanitary main alignment is envisioned along the primary entry site entry along 79 Street E. The specific design of the sanitary service network within the Outline Plan area shall be confirmed at the subdivision approval stage in accordance with County standards and regulations.

Policy 3.3.2.1	<i>The developer shall construct a sanitary servicing network within the Foothills Logistics Centre as generally illustrated in Figure 16: Sanitary Servicing Concept, to the satisfaction of the County.</i>
Policy 3.3.2.2	<i>All wastewater infrastructure shall be designed and constructed by the developer in accordance with the County's Development Agreement process, standards, and applicable regulatory approvals.</i>
Policy 3.3.2.3	<i>For any development on site occurring prior to the commencement of fully operational regional wastewater servicing connections, the developer shall provide temporary measures to manage wastewater on site to the satisfaction of the County.</i>
Policy 3.3.2.4	<i>The developer/landowner shall execute a Development Agreement to the satisfaction of the County for the construction of all necessary servicing infrastructure required to service the Plan Area and/or payment of off-site levies associated with the development of the servicing infrastructure which will benefit the development.</i>

FIGURE 17 | STORMWATER MANAGEMENT CONCEPT



3.3.3 Stormwater Management

This Outline Plan establishes a conceptual strategy, as originally produced by ISL Engineering, to establish how stormwater management will be accommodated for the first developmental phase within the Plan area. The concept design depicted in **Figure 17: Stormwater Management Concept** outlines locations for potential stormwater infrastructure that will facilitate effective site drainage.

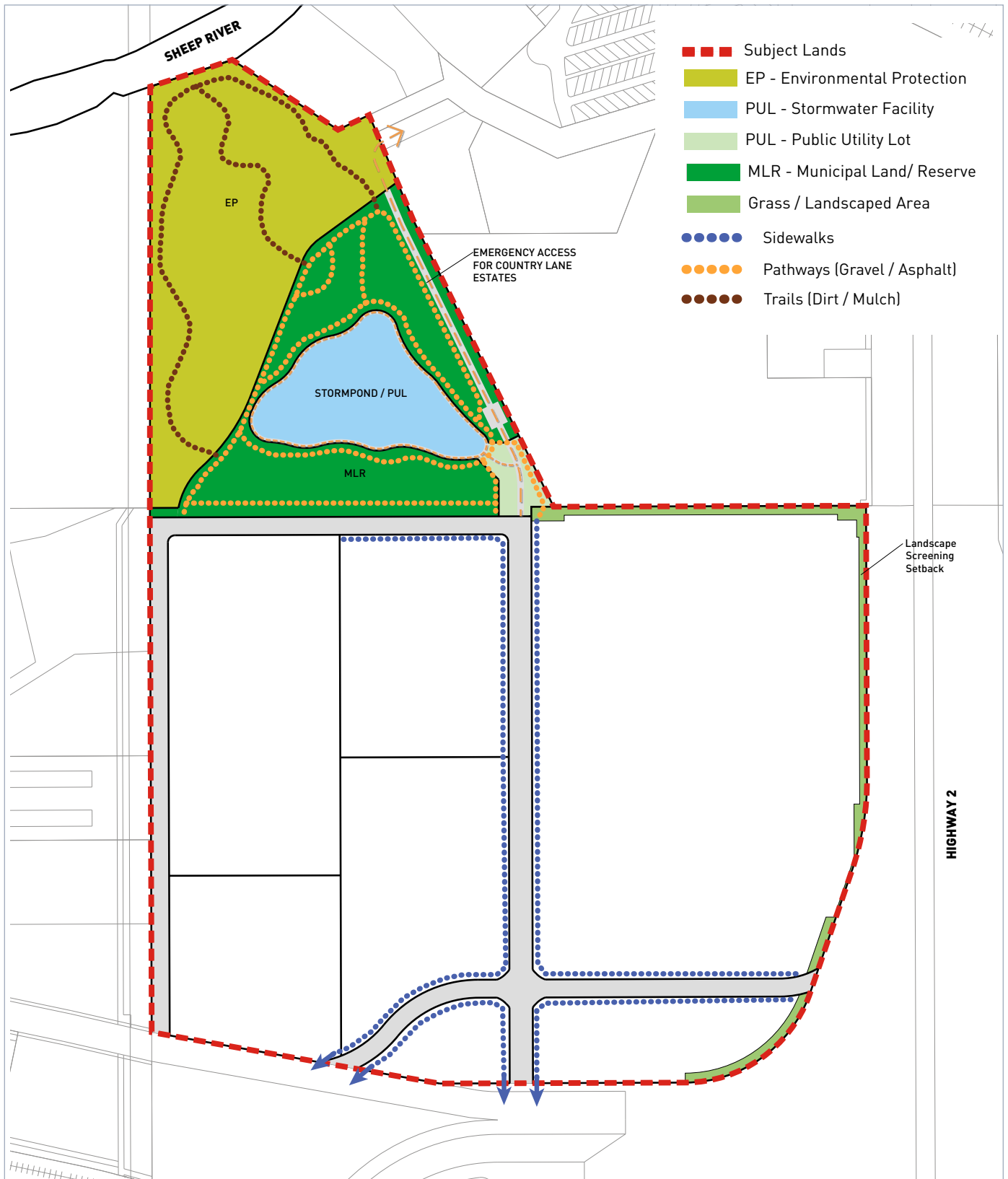
The site naturally slopes from south to north, and this natural gradient has been leveraged to minimize grading requirements. Accordingly, the stormwater pond has been positioned to the north side of the site to take advantage of this slope, allowing for gravity driven drainage and reducing overall earthworks. The stormwater pond is designed to manage increased runoff from site development, covering an area of 2.02 hectares. Its capacity is based on a controlled release rate of 5 liters per second per day. With a 5:1 side slope and maximum water depth of 1.5 meters, the pond design maximizes storage efficiency and incorporates controlled discharge mechanisms for effective water management. This stormwater pond will be capable of accommodating the total runoff from the site, effectively eliminating uncontrolled discharge into adjacent areas. All discharge will be directed to the Sheep River in accordance with Alberta Environment quality standards.

The site's grading concept incorporates a minimum of 1% slope along roadways, facilitating proper water flow toward designated drainage points. Additional considerations include the use of low-impact development (LID) techniques, such as vegetative swales or permeable surfaces, where feasible, complying with Alberta Environment and Parks (AEP) and municipal stormwater management guidelines. Stormwater catchment areas have been conceptually planned around strategically placed catch basins to provide effective water retention and flow control. These catch basins will primarily be located within parking and shipment areas, where surface runoff will be directed into the storm system. The site's grading concept incorporates a minimum of 1% slope along roadways, facilitating proper water flow toward designated drainage points. Stormwater on site will be retained to be reused primarily for landscape irrigation. Other uses within buildings may be explored at the building design and implementation stages.

It is acknowledged that the stormwater facility depicted in the adjoining figure is conceptual only, and the developer will be required to provide a detailed stormwater management plan at the subdivision stage. All stormwater infrastructure will be designed and constructed by the developer in accordance with County standards and regulations.

<p>Policy 3.3.3.1</p>	<p><i>The developer shall construct a stormwater management system within the Plan area as generally illustrated in Figure 17: Stormwater Management Concept to the satisfaction of the County.</i></p>
<p>Policy 3.3.3.2</p>	<p><i>The design of the drainage system shall include a series of Best Management Practices (BMPs) designed in accordance with all applicable regulatory requirements and applicable engineering design standards to retain surface drainage within the site, improve its quality and eventually release it to downstream areas at pre-development rates.</i></p>

FIGURE 18 | OPEN SPACE CONCEPT



Policy 3.3.3.3	<i>All stormwater management infrastructure on site shall be designed and constructed by the developer in accordance with County engineering standards and provincial regulatory requirements.</i>
Policy 3.3.3.4	<i>The developer/landowner shall execute a Development Agreement to the satisfaction of the County for the construction of all necessary servicing infrastructure to service the Plan Area and/or payment of off-site levies associated with the development of the servicing infrastructure which will benefit the development.</i>
Policy 3.3.3.5	<i>Registration of overland drainage rights-of-way and easement agreements shall be provided by the developer at the subdivision stage to the satisfaction of the County.</i>
Policy 3.3.3.6	<i>The developer shall provide a detailed stormwater management plan that prioritizes stormwater recapture strategies on site at the subdivision stage to the satisfaction of the County.</i>

3.4 Open Space Considerations

The treatment of open space within the Plan area is intended to primarily accommodate requirements for development within the floodway zone of Sheep River, and to provide opportunities for relaxation and recreating within the remainder of the site. While landscaped areas in the internal areas of the business lots on site will be determined at the detailed design stage, pedestrian movement throughout the plan area will be accommodated via pathways, trails and sidewalks, as generally illustrated in **Figure 18: Open Space Concept**. Irrigation for landscaped areas is expected to be maintained through recapture of stormwater on site.

Two (2) public areas of open space are proposed within the Outline Plan area as generally illustrated in **Figure 18: Open Space Concept**. These lands include Environmental Reserve (ER) and Municipal Land / Reserve (MLR) designations. These sites may be accessed via the north-south road alignment through the center of the site, with parking accommodated within the lands identified as MLR, adjacent to the stormpond and proposed emergency access to Country Lane Estates.

3.4.1 Environmental Reserve (ER) Lands

The 16.71 ac area directly south of the Sheep River at the northern portion of the plan area will be dedicated as Environmental Reserve (ER) and redesignated as Environmental Protection (EP) district to accommodate and adhere to the County and Province’s requirements for developing within the floodplain. Any activities within this area will be minimal (e.g. trail improvements, signage, etc.), and at the discretion of the Foothills County Council, as per the requirements of the Municipal Government Act.

Policy 3.4.1.1	<i>Environmental Protection (EP) land use area will be as generally illustrated by Figure 18: Open Space Concept.</i>
Policy 3.4.1.2	<i>All development activities within the area dedicated as Environmental Reserve must adhere to provincial regulations.</i>
Policy 3.4.1.3	<i>Irrigation of landscaped areas should be maintained through recapture of stormwater on site.</i>



3.4.2 Municipal Land/Reserve (MLR)

The lands within Block 2, Plan 941 0556 not dedicated as Environmental Reserve (ER) or designated as a Public Utility Lot (PUL) will be dedicated as Municipal Reserve (MR) and redesignated as Municipal Land/Reserve (MLR) as illustrated in **Figure 18: Open Space Concept**. This 12.62 ac parcel will support passive recreational uses with features that may include pathways, benches, and playgrounds for the benefit and enjoyment of both nearby workers and residents, as well as providing a destination for the wider County community to visit. The developer will prepare a Landscaping Plan at the subdivision stage to ensure the specific plantings and pathway infrastructure meets the intent of the H2AIASP’s design standards. Costs required to construct the MLR space within the Plan area shall be provided by the developer.

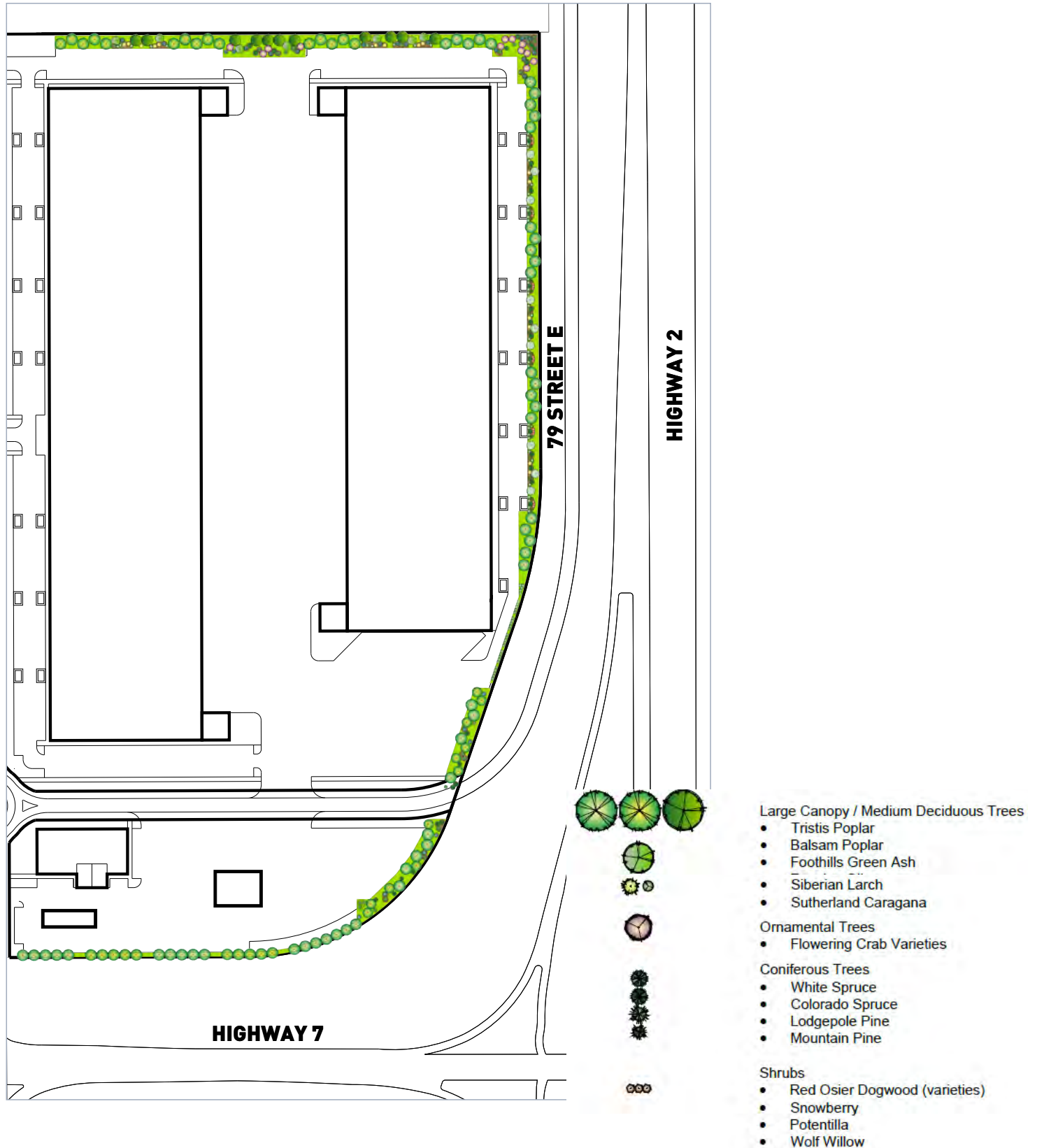
Pursuant to section 5.3.3 of the H2AIASP, Foothills County staff have requested a developable lot as municipal reserve, in a location better situated to accommodate future development. In response to this, the developer and County staff have engaged in advanced discussions to provide an additional parcel along the south boundary of site, in addition to the MR dedication currently provided, should future development conditions be met. For more information on this arrangement, please see section 6.4.5 of this Outline Plan.

Table 6 – Proposed Municipal Reserve (MR) Disposition

	Area (±ha)	Area (±ac)
Total Plan Area	57.8	142.89
Gross Developable Area	51.07	126.19
MR Requirement (10% NDA)	5.11	12.62
Proposed Phase 1 MR Dedication	5.11	12.62
Future Phase(s) MR Dedication	0	0
Total MR Outstanding	0	0

Policy 3.4.2.1	<i>The developer shall prepare a Landscaping and Maintenance Plan at the subdivision stage to ensure the landscaping and pathway alignments meet the intent of the H2AIASP’s design standards to the satisfaction of the appropriate bodies.</i>
Policy 3.4.2.2	<i>Consultation between the County and the developer shall occur prior to any subsequent land use and/or subdivision applications within the Outline Plan area being approved by the County, to ensure that the H2AIASP’s policies and the County’s MLR policies are appropriately applied within this area to the satisfaction of the appropriate bodies.</i>

FIGURE 19 | HIGHWAY FRONTAGE SCREENING CONCEPT



3.5 Landscaping Concept

To meet the standard for site screening adjacent to major roads and highways as outlined within the H2A IASP Design Guidelines, LA West has prepared a Landscape Screening Concept for the Outline Plan site, providing dimensions and details for a landscape plan to be installed along portions of the north and east boundaries of the Outline Plan area, as illustrated in **Figure 19: Highway Frontage Screening Concept**. The Landscape Plan prepared by LA West is included as a technical report in this submission (see Section 7.0 of this Outline Plan), and can be viewed in greater detail separate from this figure. This landscape plan will incorporate stormwater recapture to irrigate a mix of trees and hardy, drought-resistant native plantings to provide an aesthetically pleasing site exterior facing out toward Country Lane Estates and Highway 2A. Future development phases will likewise be required to provide detailed Landscape Plans that assure alignment with the direction provided by the H2A IASP Design Guidelines. Please note that the requirements for implementation of landscape screening at future stages is further detailed within Section 6.6.4 of this Outline Plan.

3.6 Emergency Response Considerations

Primary fire response within the Outline Plan area is expected to be provided from the Town of Okotoks with secondary response from the Town of High River.

Policing is expected from the RCMP Detachment in the Town of Okotoks with support from the Foothills County Community Peace Officers.

Emergency Response will be addressed by the 911 system with dispatch of ambulance service from the EMS facility in the Town of Okotoks.

The specific response details will be established at the subdivision stage.

POLICY | ALIGNMENT

4.0



4.0 Policy Alignment

The subject site receives its policy direction from two statutory policies, the Foothills County Municipal Development Plan 2010 (MDP), and the Highway 2A Industrial Area Structure Plan (H2AIASP).

4.1 Municipal Development Plan

The Foothills County MDP, adopted in 2010, is the preeminent land use planning policy for Foothills County, though it is superseded by impacting statutory policies at the regional and intermunicipal level. It is a strategic document that guides both statutory and non-statutory plans including the Land Use Bylaw (LUB), the Growth Management Strategy, District Plans, Area Structure Plans (ASPs), Area Redevelopment Plans (ARPs), Outline Plans, and more. The vision statement for the MDP is as follows:

“Foothills County encompasses a diverse rural landscape in which leadership and planning support a strong agricultural heritage, vibrant communities, a balanced economy and the stewardship of natural capital for future generations.”

The development proposed within this Outline Plan aligns with several of the MDP’s listed Principles for Planning, as outlined below:

4.1.1 Plan for Growth

- + **Highway 2A Corridor Industrial Development** – Not only is business development expected to continue in this area, it has been identified as the preferred area within the County for this type of development to preserve the rest of the County lands for preferred rural land uses.. The industrial development envisioned for the plan area capitalizes on investments made by the County to utilize this location to its full potential.
- + **Regional Economic Benefit** – The Highway 2A corridor is located within the Greater Calgary Area, which is one of the key economic hubs within Western Canada and is growing at an impressive rate—with no signs of slowing down. The Foothills Logistics Centre would capitalize on this location by providing a prime location to support the operations of regional automotive shipping routes.
- + **Catalyst for Growth and Connections** – As one of the first major commercial-industrial developments in the Highway 2A corridor, which is primed for rapid development once full water servicing is made available, the Foothills Logistics Centre can be a keystone project that sets the standard for circulation and design standards, and can operate in concert with existing large-scale operations such as the Cargill Protein Processing Plant and the Saddlebrooke Solar Farm.



4.1.2 Preserve Rural Character and Sustain Natural Capital

- + **Rural Identity** – The location of this project within the Highway 2A corridor will preserve the character of Foothills County by restricting industrial development to the area(s) the County has identified. By hosting operations in this location with the proper screening and setbacks along Highway 2, the County’s dark skies and rural vistas will be maintained—as well as the natural capital that they promote.
- + **Community Benefit** – The portion of the subject lands that fronts the Sheep River will be developed with the goal of giving something back to the wider community. While development will be limited to trail improvements in the flood management area, additional walking trails and recreational features will be provided, surrounding the proposed stormwater management facility.

4.1.3 Prioritize Environmental Conservation and Emphasize Area Improvements

- + **Riparian Buffer & Floodway Maintenance** – An appropriate edge treatment will be established adjacent to the Sheep River and the associated natural drainage areas within the subject lands, and any activity within the associated flood management zone will be suitable to the associated requirements.
- + **Preservation of Natural Features** – Development of the subject lands will be carried out thoughtfully to ensure the environmentally sensitive features, wildlife habitats, and natural capital within the site and its surrounding area are both respected and protected.
- + **Rehabilitation of Disturbed Lands** – As Volker Stevin has benefited from aggregate extraction operations in this space in recent

times, they are committed to not only returning the lands to their previous state, but improving upon them through both exciting economic opportunities and the creation of a recreational destination that the wider community can enjoy along the Sheep River.

4.1.4 Implement Innovative and Cost-Effective Infrastructure

- + **Improved Access and Transportation Connections** – New transportation infrastructure will be designed and constructed in accordance with the County’s and the Province’s applicable engineering design standards, and nearby stakeholders will continue to be engaged. on how best to ensure positive connections to the surrounding area.
- + **Utility Servicing Supports** – The H2AIASP contemplates a future long term regional style water distribution system to service the area and notes that all new developments must connect to piped water. With regional servicing projects expected to reach completion by 2026 (potable) and 2027 (sanitary), this proposed development represents an immediate and impressive return on this major investment from the County.

4.1.5 Incorporate Community Feedback through Clear and Open Engagement Process

- + **Transparent Presentation of Development Vision** – Surrounding residents and businesses have invested in the County and in their community, and they deserve to know what the future holds for the subject lands. As such, the project vision, with conceptual drawings to illustrate the intent, will be shared with them early and often.

- + **A Two-Way Dialogue** – To date, key area stakeholders have been informed of the project details and acknowledged what has been proposed. A formal open house event involving interested parties was held on February 13, 2025 to discuss the project and solicit feedback about technical issues and achieve measurable community support for the project.
- + **Highest and Best Use** – Communication and Engagement efforts will reflect the desire to achieve optimal land uses for the site which provide the greatest benefit to residents, businesses, and employees in and around the plan area.

4.1.6 Adhere to High Quality Development Practices and Aesthetic Standards

- + **Adherence to Design Guidelines** – The developer will adhere to the requirements set out in the H2AIASP Design Guidelines to ensure the form of the Foothills Logistics Centre reflects an attractive and high-quality appearance. As the site is located in one of the H2AIASP’s designated ‘Enhanced Areas,’ site design will be held to a greater standard.
- + **Thoughtful Landscape Design and Screening Protocols** – Landscaping requirements, screening, and aesthetic standards will be developed with the understanding that this site is located directly adjacent to a major highway and will be visited by community members.
- + **Effective and Attractive Site and Building Design** – The developer has a strong portfolio of past projects that illustrate their understanding of attractive building articulation and variance, efficient use of space within the site, and pedestrian accessibility that they will draw upon in the design of this site.

FIGURE 20 | H2AISP LAND USE CONCEPT

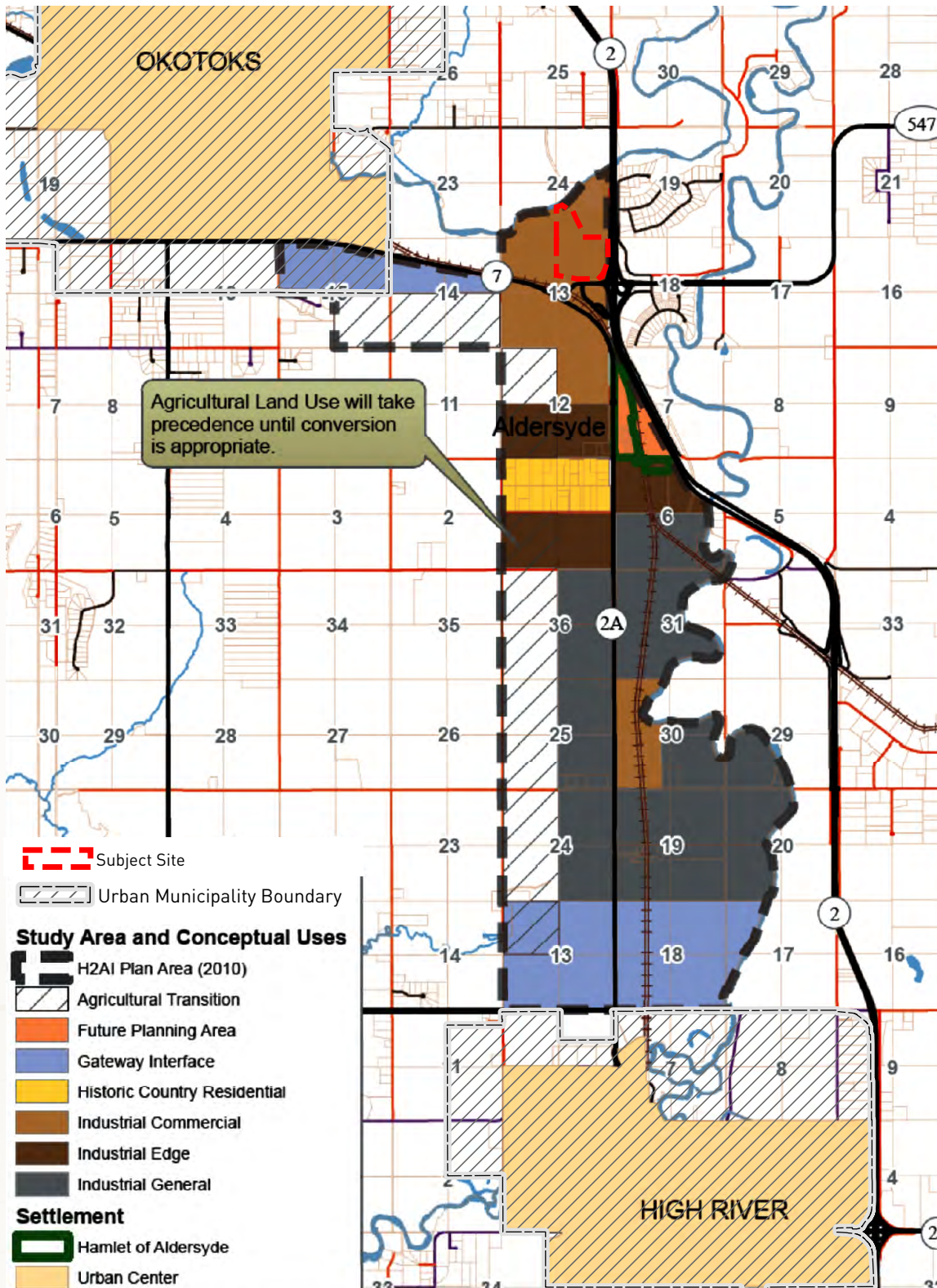


Figure taken from Highway 2A Industrial ASP, p. 26

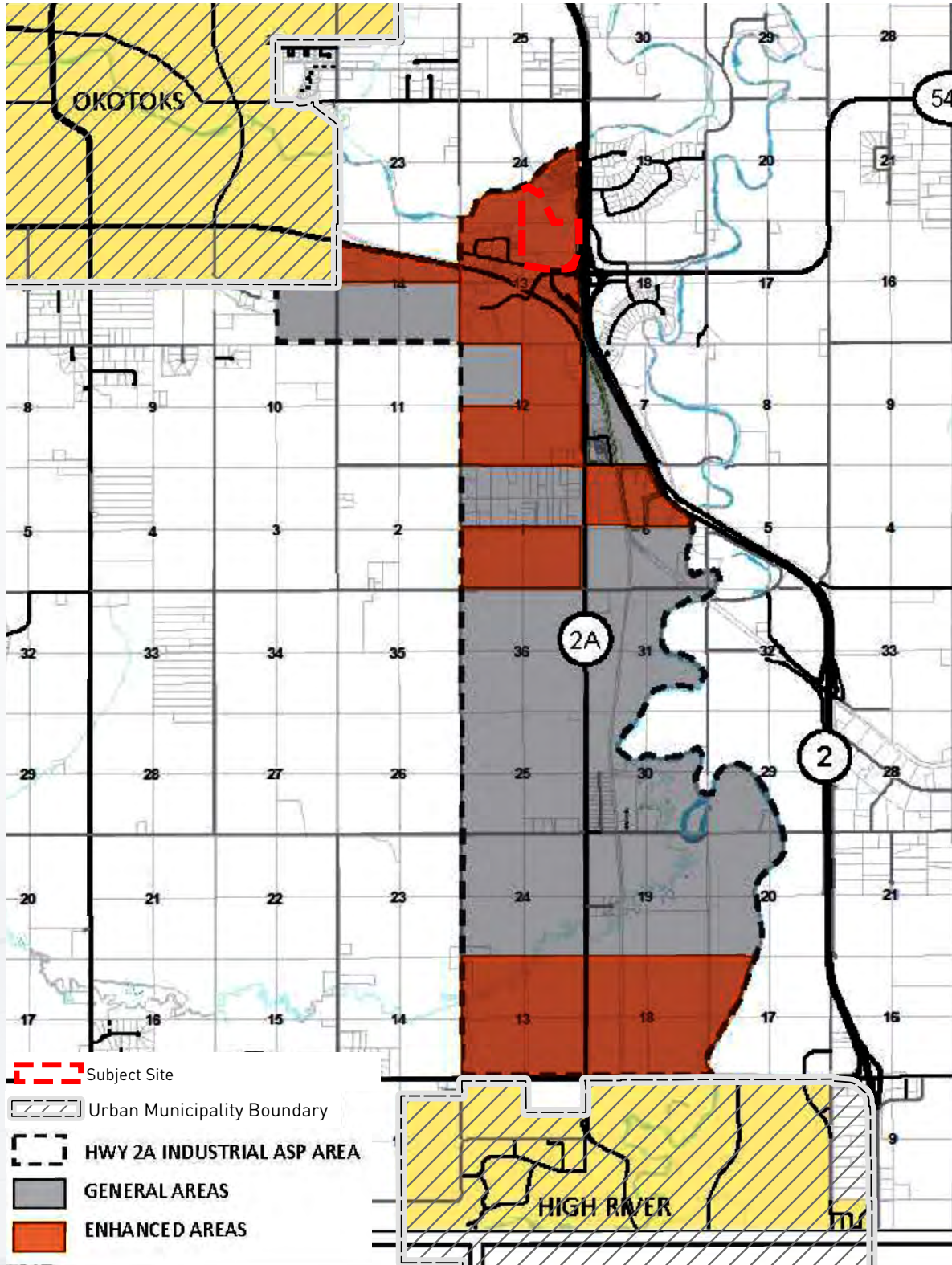
4.2 Highway 2A Industrial ASP

Foothills County adopted the H2A IASP in October 2010 to establish a development strategy for the Highway 2A corridor extending between the Towns of Okotoks and High River. The objective of this ASP is to establish a sub-regional business corridor for surrounding communities, spurring economic opportunity within the area for various industries and neighbouring municipalities.

The Outline Plan area is located near the northern boundary of the Highway 2A Industrial ASP (H2A IASP) plan area. The H2A IASP is critical for Foothills County, as it aims to centralize the commercial, industrial and business opportunities in a key corridor supported by strong transportation and infrastructure connections—and in doing so, allows the remainder of the County to more effectively preserve its dark skies, rural vistas, and conservational approach.

The overall vision for the H2A IASP policy area is to ensure socially, economically, and environmentally sound development opportunities for the residents and businesses that choose to locate within the 2A corridor. The H2A IASP accomplishes this by developing its goals and objectives through a strong emphasis on sustainability and the Triple Bottom Line, which gives equal focus to Social/Cultural elements, Environmental elements, and Economic elements.

FIGURE 21 | H2AISP DESIGN GUIDELINES AREAS



The Land Use Concept for the H2AIIASP designates the subject lands as an Industrial Commercial (IC) policy area, which is intended to allow industrial and certain commercial forms of development to take place proximate to one another in a manner that is mutually beneficial complementary. The uses that this application proposes are aligned with this policy direction, and would complement the existing adjacent uses seen in both Warner Business Park to the west and the Petro-Canada truck stop to the south.

Additionally, the H2AIIASP Design Guidelines indicate that the subject lands are designated as an Enhanced Area, as shown on the H2AIIASP Design Guidelines Areas. As such, we understand that this application will be subject to a higher standard and carries additional design standards than the balance of the H2AIIASP policy area designated as General Areas. Some areas where these greater requirements are reflected are in elements such as aesthetic standards, pedestrian accessibility, building design, and landscaping requirements.

The policies of the H2AIIASP direct growth within the plan area in a logical, efficient, and sustainable manner through the provision of measurable and achievable goals, objectives, and policies. The ASP looks to ensure that development in the Plan area benefits the County as a whole. Further, the H2AIIASP recognizes that continued development within the corridor will occur over an unspecified period of time and therefore requires a certain level of flexibility to maintain relevance and provide the most suitable direction for growth. Future development within this Outline Plan is expected to adhere to the H2AIIASP's Guiding Principles, which are captured in the policy's overall vision:



In observation of a ‘Triple Bottom Line Approach,’ the overall vision for the plan area is to ensure socially, economically, and environmentally sound development opportunities for the residents and businesses that choose to locate in the 2A corridor.

Individual objectives pertaining to each foundation of this Triple Bottom Line Approach are listed within the H2A IASP. The following section addresses how these will be enacted within the Foothills Logistics Centre:

4.2.1 Social/ Cultural Goals and Objectives

The Working Environment

“Ensure a desirable setting for potential corridor employees through the provision of connected and viable recreational opportunities, open space networks, and mobility options.”

- + The Outline Plan includes an open space area with attractive park features and connections to the Sheep River, for the benefit of employees of the Foothills Logistics Centre’s businesses as well as the surrounding community.

Commercial/Light Industrial Development

“Ensure those areas of the plan that will support commercial services and light industrial development such as offices and administrative facilities are concentrated in a pedestrian friendly and walkable manner, providing a range of services to employees and visitors to the corridor alike.”

- + The Outline Plan includes a concentration of industrial services at its heart, with immediate connections to commercial uses to the south and recreational open space uses to the north, and connective pathways that link the entire site.



Natural Features: Riparian Areas and Open Spaces

“Create integrated pathway networks throughout the open spaces of the plan area that will foster positive social interaction and the preservation and shared enjoyment of the corridors’ natural features.”

- + The Outline Plan includes open spaces for users to enjoy and recreate throughout the site, with an expansive park space to the north that enhances connections into the Sheep River ER area.

Gateways

“Ensure the unique character of the corridor and its urban neighbors to the north and south are enhanced through the development of distinct and inviting gateways into each of the three municipalities’ landscapes”

- + The Outline Plan incorporates inviting gateway features along the entry to 393 Avenue in the south and a passive recreational connection to Country Lane Estates to the north, while providing an attractive and aesthetically pleasing edge along Highway 2 at its eastern boundary.

4.2.2 Environmental Goals and Objectives

Water Availability

“Through the necessity to develop only within the available capacity of the corridor’s water resources, and to conserve and re-think the use and re-use of water, strain on surface and groundwater resources will be minimized.”

- + The Outline Plan provides for the efficient capture, storage, and purposeful usage of stormwater on site for internal irrigation wherever possible.

Open Spaces

“Careful consideration for the provision of open spaces throughout the corridor will ensure environmentally significant features are preserved and enhanced.”

- + The Outline Plan respects all environmentally sensitive areas identified through the Biophysical Impact Assessment, and any historically significant assets uncovered through the Historical Resource Impact Assessment, while providing improvements to the programming and access of the Sheep River’s flood-prone area on site. Additionally, the Outline Plan reclaims and restores this site from its previous aggregate resource extraction uses.

Transportation Options

“The ASP works to ensure the provision of transportation options, including public transit and viable pedestrian connections”

- + The Outline Plan provides suitable pedestrian connection options for the movement between various uses on site and enhances connection to the Sheep River, and will support any future public transit options identified by the affected municipalities to and from the Hamlet of Aldersyde, and/or the Towns of Okotoks and High River.

4.2.3 Economic Goals and Objectives

Business Development

“The ASP will work to develop a supportive and dynamic business community based upon a balance of mutually beneficial economic, social, and environmental objectives.”

- + The Outline Plan enables the development of both industrial and commercial uses with an environmentally sensitive site design. The specific business uses intended for the site are regional in focus, and will be a catalyst for further economic growth in the 2A corridor.

Transportation Infrastructure

“To provide safe, efficient, and cost-effective transportation infrastructure capable of meeting the needs of the businesses, residents, and visitors to the corridor.”

- + The Outline Plan improves the existing transportation infrastructure by establishing stronger connection to Country Lane Estates to the north and enhancing the intersection and primary site entry along 393 Avenue at its south boundary.

Utilities and Servicing

“To ensure safe, efficient, and cost-effective water and wastewater provision is available to the corridor’s residents and businesses.”

- + The Outline Plan provides an immediate return on a substantial investment the County is making in its water and wastewater servicing, as a major development on a large assembly that will tie in to servicing from the moment it connects to site.

4.2.4 Policy Area

In addition to adhering to the foundational objectives listed within the H2AASP, the Outline Plan adheres to the Industrial Commercial (IC) policy area, which is intended to allow industrial and commercial forms of development to take place proximate to one another in a manner that is mutually beneficial and complementary.

To ensure compliance with the IC policies contained within the H2AASP, the following measures of policy will also apply directly to this Outline Plan’s context:

Policy 4.2.4.1	<i>All industrial activity shall be contained indoors within the Industrial Commercial areas, unless outdoor activity is deemed ancillary or appropriate by the Approving Authority.</i>
Policy 4.2.4.2	<i>Outdoor storage in Industrial Commercial areas is not permitted unless screened in accordance with the Enhanced Design Guidelines found within the H2AASP Design Guidelines.</i>



COMMUNITY CONSULTATION

Opportunities

- The existing Highway 2A Industrial Area Structure Plan policy supports the uses proposed at this site
- The site has excellent highway frontage and visibility that can support inter-regional scale goods movement routes
- Foothills County is constructing water and wastewater services within this area that this project would be able to effectively tie into
- The project is a relatively large assembly of land that provides the opportunity to plan comprehensively for both industrial and recreational uses
- Development on this site can improve access and roadway connections to the Sheep river and County Lane Estates.
- The site is ideally suited to accommodate a planned commercial/industrial development in accordance with local policy and in support of nearby businesses.



5.0 Community Consultation

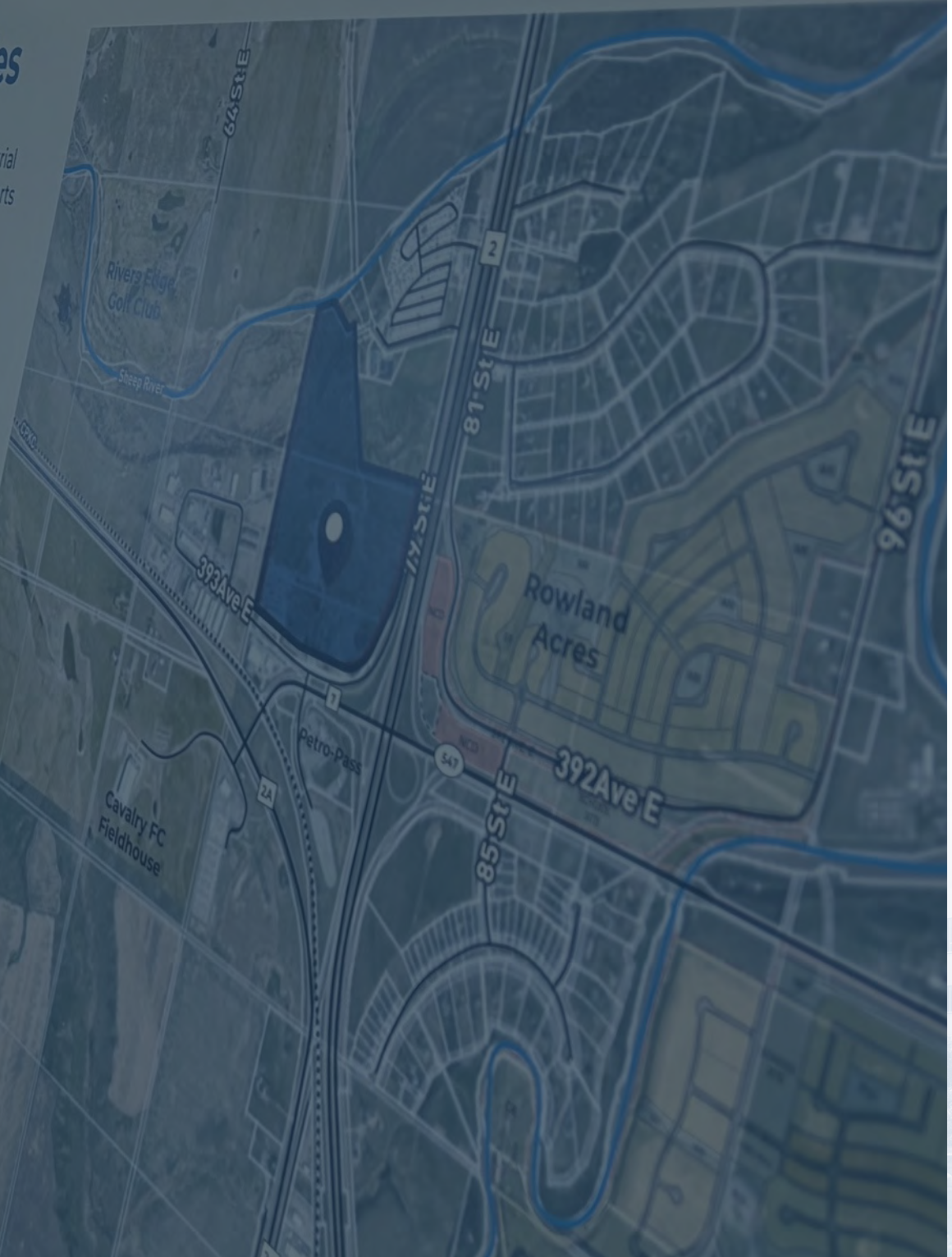
The proponents of the Foothills Logistics Center are committed to ensuring the implementation of a commercial and industrial development, as contemplated by this Outline Plan, respects the interests of adjacent landowners and local stakeholders. Multiple outreach efforts have been undertaken prior to the submission and presentation of this Outline Plan to connect with local communities in order to lend their feedback, consideration, expertise, and experience to the project.

Prior to submitting the Outline Plan application, the landowner engaged local governments, businesses, communities and other interested parties to provide notice of the proposed development and extend an opportunity to share preliminary information and intent. These efforts included:

- + The project team attended two separate meetings with key staff at Foothills County (October 21, 2024) and the Town of Okotoks (January 22, 2025) with a presentation on the intended development to discuss suitability and solicit feedback.
- + A targeted email / phone campaign to nearby businesses and residents highlighted by Warner Business Park and Country Lanes Estates (January 2025), providing information about the project and inviting them to meet with the project team to share further details, respond to questions and collect feedback. Responses were positive, and no requests for additional meetings were made.
- + On February 13, 2025, B&A and VolkerWessels hosted a public open house at the Foothills Regional Field House (125 Field House Dr E, Aldersyde, AB) to display and discuss project information and engage the local community about the project in-person. Prior to this, the event was advertised via temporary outdoor signs, postcard mail-outs to addresses proximal to the subject site, and emails to local businesses and other identified key audiences.
 - » The public open house event was well-attended, with approximately 25-30 attendees providing generally positive feedback. Most responded very well to the transition for the site out of its current aggregate extraction use, and were particularly excited by the intended commercial uses to the south and the provision of a public open space to the north. From a design perspective, the south site entry from 393 Avenue – and associated stacking distance, connectivity to Country Lane Estates – was identified as the key point of emphasis.

Opportunities

- The existing Highway 2A Industrial Area Structure Plan policy supports the uses proposed at this site
- The site has excellent highway frontage and visibility that can support inter-regional scale goods movement routes
- Foothills County is constructing water and wastewater services within this area that this project would be able to effectively tie into
- The project is a relatively large assembly of land that provides the opportunity to plan comprehensively for industrial and recreational uses
- Investment on this site can improve roadway connections to Highway 2A and County Lane
- The site is well suited to mixed commercial development in accordance with policy and in various uses.



- + In the period following the Open House, it was communicated to the project team that many of the lot owners at Country Lane Estates were not able to attend due to seasonal occupancy patterns, with most of the owners unavailable during winter months. The team coordinated with the ownership group to organize a second in-person event, held in the event space of Country Lane Estates, to review project details and answer question from the ownership group.
- » The meeting with Country Lane owners was held on September 19, 2025, with over 60 attendees. The material was primarily a review of what was shared during the February Open House, with a more formalized panel-style Q&A session. This session went over an hour with most questions centered around impacts to localized road circulation and access; site security and monitoring; and potential end uses and tenants.
- » Despite entering into the meeting with concerns, Country Lane owners responded very positively to the information relayed to them and showed interest in the opportunities being explored through the project. Owners expressed a desire to be kept informed of the planning approvals process, and all were directed to our mailing list. Materials from the Owners Meeting (slides used for the presentation boards and an FAQ document) were circulated to everyone on the mailing list in the days following the event.

Following the Open House and Owners Meeting, the project team is committed to providing regular updates to the community about the status of the application and approval process. Our project team requested emails for a mailing list that we will use to keep interested parties informed as the project moves on to subsequent phases.

More details on Engagement efforts associated with this project can be found in the Engagement Report, as referenced in Section 7.0 of this Outline Plan.



6.0

IMPLEMENTATION |



6.0 Implementation

6.1 Implementation Process

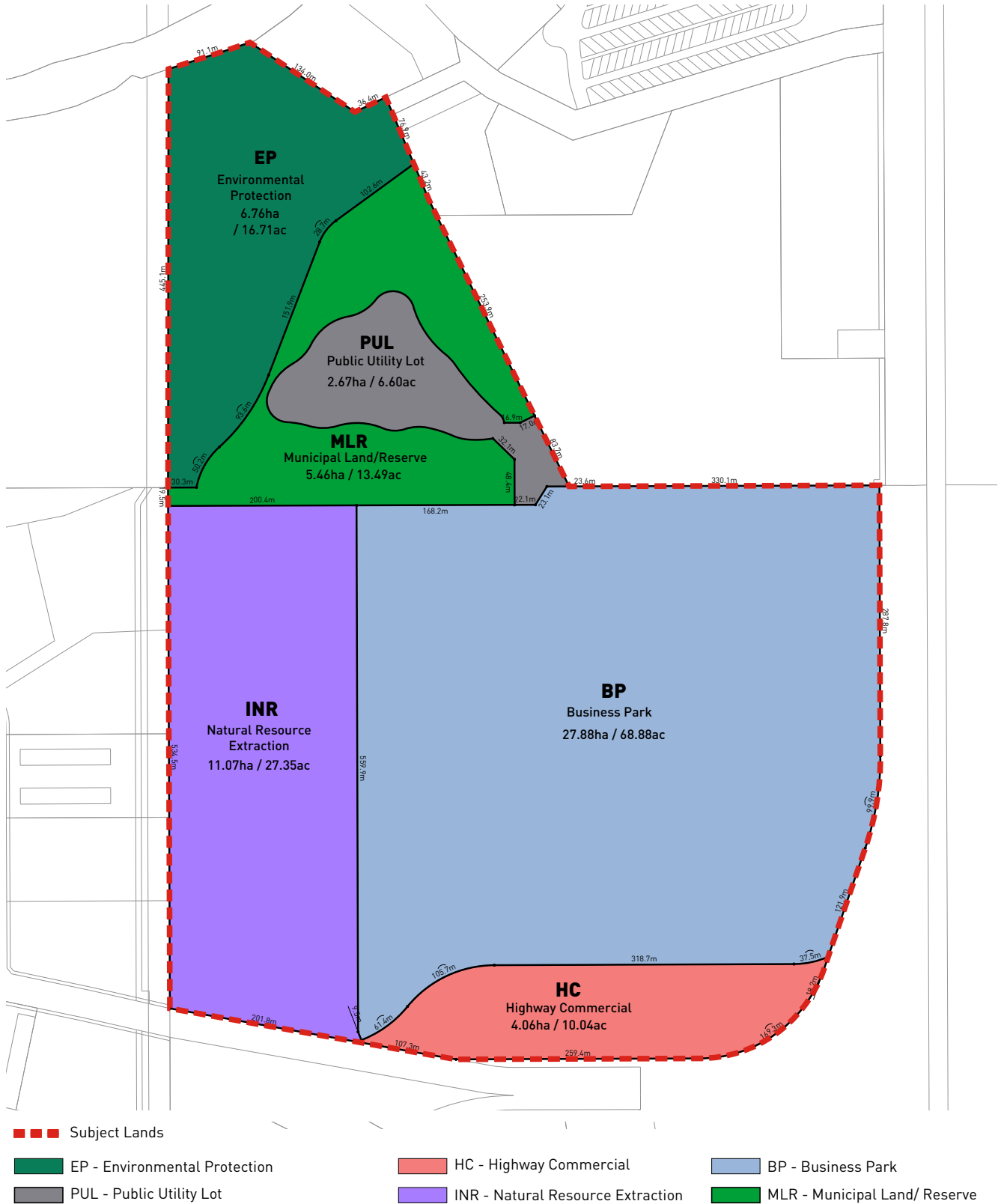
The purpose of this Outline Plan will establish expectations to guide the implementation of the **Foothills Logistics Centre**. Adoption of this Outline Plan will occur following a public hearing in accordance with the requirements of the *Municipal Government Act*.

The Plan establishes a non-statutory policy framework that should be considered prior to subsequent consideration of land use amendment and/or subdivision applications for commercial and industrial development with the Plan Area.

Implementation of subdivision and future development permits within the **Foothills Logistics Centre** is proposed to be considered following initial approval of the Outline Plan.



FIGURE 22 | PROPOSED LAND USE



6.2 Proposed Land Use

Land use within the Plan area will be assigned by Council in accordance with the Foothills County Land Use Bylaw. The developer's intent is to have Council consider the required land use changes within the site concurrently with the project's overall Outline Plan phasing strategy. As noted, the anticipated implementation of land use within the Plan area is illustrated on **Figure 22: Proposed Land Use** with general considerations described as follows:

- + Commercial and industrial areas of the project will be designated Business Park (BP) or Highway Commercial (HC) District, which requires specific development matters to be addressed at the subdivision stage regarding geotechnical matters, stormwater management considerations, and installation of water and sewage treatment systems;
- + Lands dedicated as Municipal Reserve (MR) will be designated as Municipal Land/Reserve (MLR) district;
- + The Public Utility Lot (PUL) parcels will be designated Public Utility Lot (PUL) district;
- + Lands dedicated as Environmental Reserve (ER) will be designated as Environmental Protection (EP) district, and will be protected against development as determined in both County policy and Provincial regulations.
- + The existing asphalt plant and associated industrial buildings will remain Natural Resource Extraction (INR) district - and are expected to remain operational for the next 20+ years.

Policy 6.2.1

The implementation of land use within the Plan area is anticipated to be assigned by Council as generally illustrated by Figure 22: Proposed Land Use.

FIGURE 23 | PROPOSED SUBDIVISION



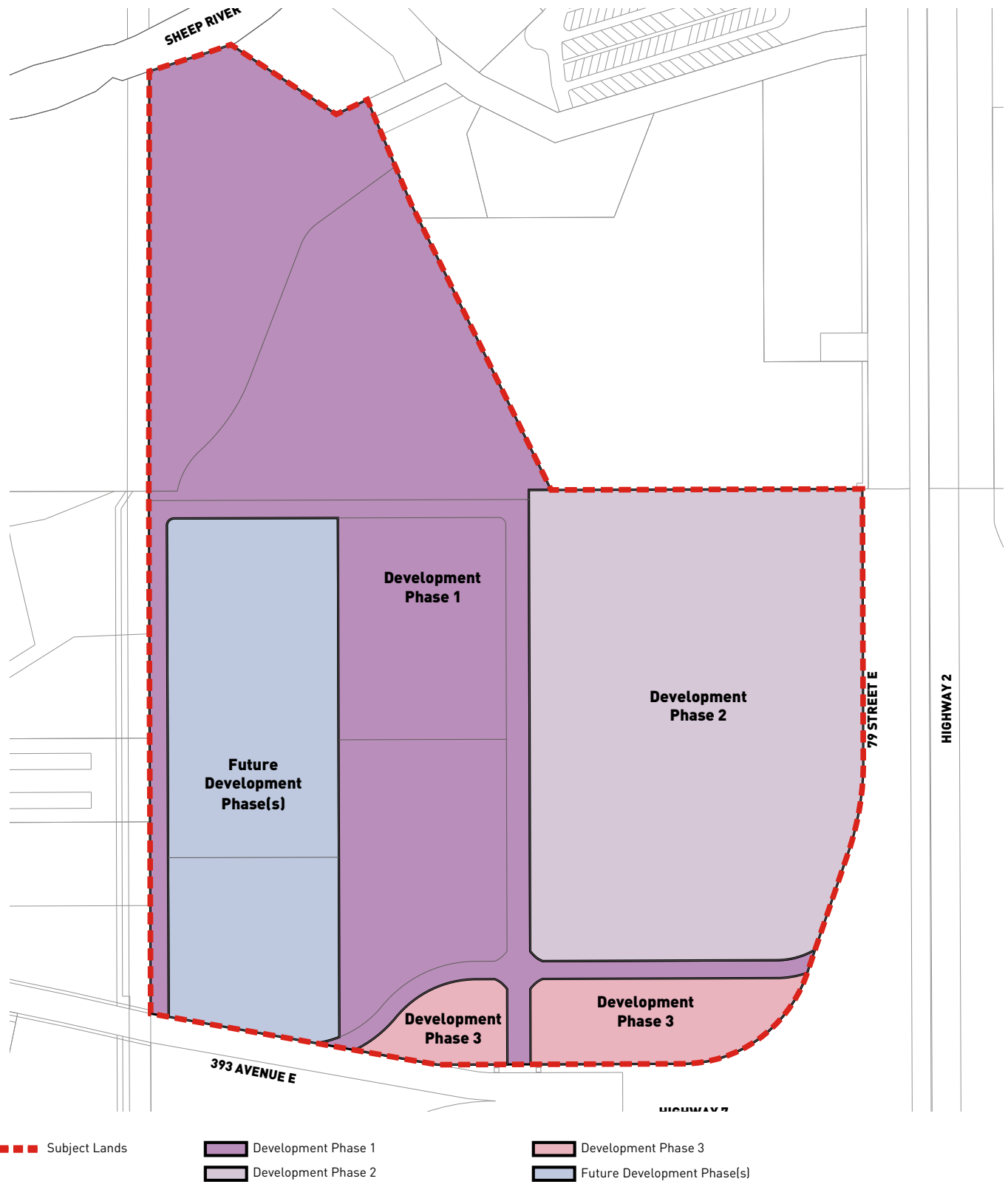
6.3 Proposed Subdivision

Implementation of subdivision within the plan area is expected to occur as generally illustrated by **Figure 23: Proposed Subdivision** according to specific development criteria described as follows:

- + Three (3) business lots with individual lot sizing as per the Business Park (BP) districts policies and regulatory provisions of the Municipal Development Plan, the H2AASP and the Foothills County Land Use Bylaw.
- + Two (2) business lots with individual lot sizing as per the Highway Commercial (HC) districts policies and regulatory provisions of the Municipal Development Plan, the H2AASP and the Foothills County Land Use Bylaw.
- + One (1) Public Utility Lot
- + Implementation of all required transportation and utility servicing infrastructure.
- + Dedication of Environmental Reserve (ER) and designation as Environmental Protection (EP) district, and; dedication of Municipal Reserve (MR) as Municipal Land Reserve (MLR) district.
- + Access to the existing road dedication in Country Lane Estates provided by a new approach and gravel driveway through the existing Recreation (R) parcel.
- + As noted in section 2.3 of this Outline Plan, Development Permit 23D 024 attends to the remediation of NE 13-20-29-W4 and Lot 2, Block 4, Plan 121 3109, which states that reclamation of the land will not be deemed complete until the landowner provides proof of final sign-off from Alberta Environment. The developer has engaged Alberta Environment to receive this approval and understands that this will be required as a condition of the proposed subdivision. This will fulfill the intent of section 10.1.6 of the H2AASP.
- + Initial subdivision is expected to create fee simple ownership with certain administrative oversight provided by the BLOA, as addressed in Section 6.5 of this Outline Plan. Should the developer decide to pursue an alternative form of ownership (eg. condominium), the developer will do so in consultation with the County.

Policy 6.3.1	<i>Subdivision is expected to proceed within the Plan area as generally illustrated by Figure 22: Proposed Subdivision.</i>
Policy 6.3.2	<i>The developer shall provide proof of reclamation and rehabilitation of the lands identified in Development Permit 23D 024 at the subdivision stage, to the satisfaction of Alberta Environment, the County, and other approving bodies.</i>
Policy 6.3.3	<i>Subdivision shall be subdivided to create fee simple ownership of lots in Outline Plan area with administrative oversight granted to the Business Lots Owners Association. In the event the developer decides to pursue an alternative form of ownership, the developer shall do so to the satisfaction of the County.</i>

FIGURE 24 | FUTURE DEVELOPMENT PHASING MAP



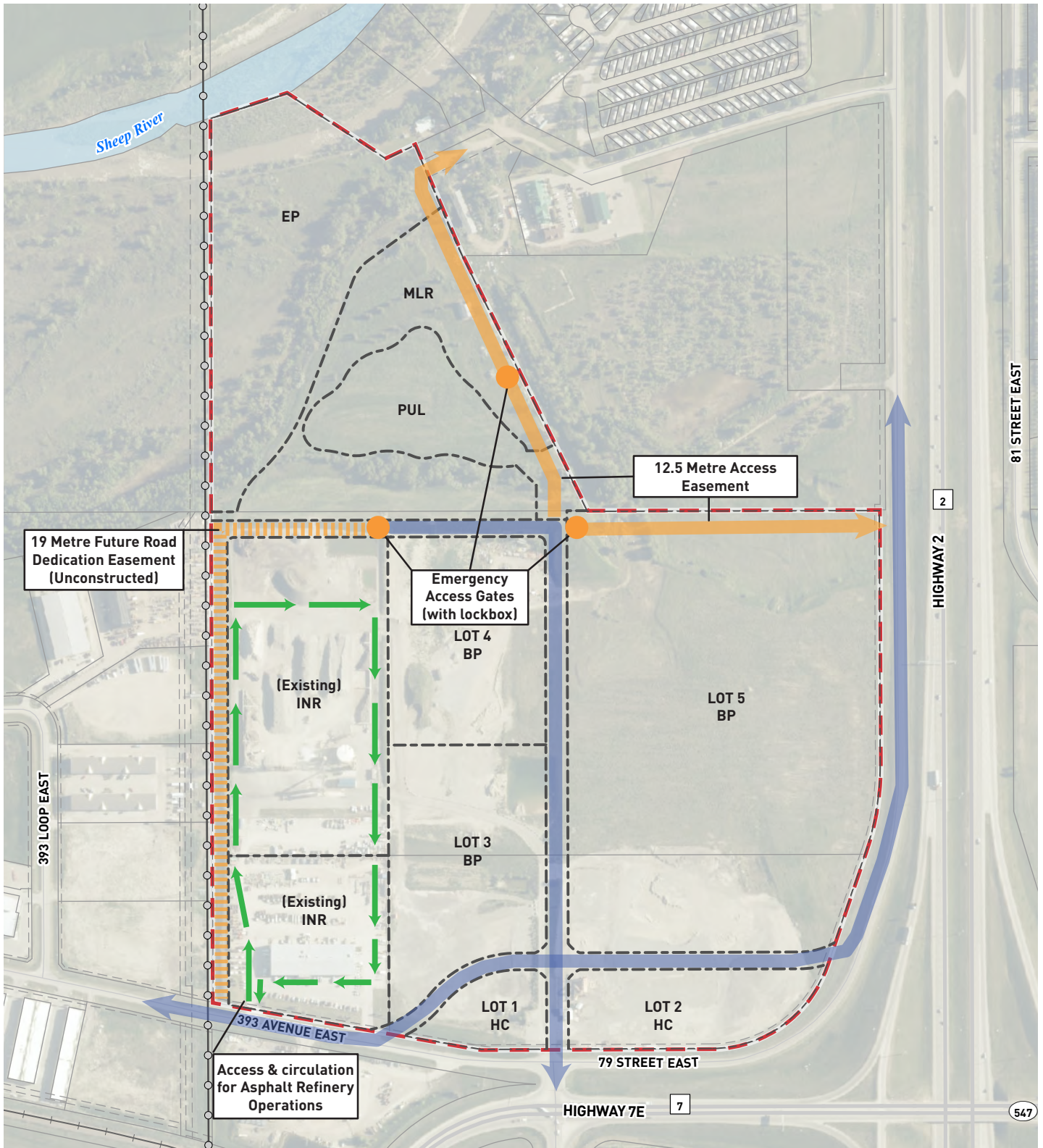
6.4 Development Phasing & Site Accesses

Development within the Foothills Logistics Centre is expected to proceed in phases as generally illustrated by **Figure 24: Development Phasing**. Phase 1 and 2 development is intended to be inclusive of all the land captured within the plan area that is not currently supporting existing asphalt refinery operations.

As described elsewhere in this Outline Plan, the developer's immediate objective is to implement development within Phases 1, 2 and 3, with future development phasing expected to be implemented via amendments to this Outline Plan and the Foothills County Land Use Bylaw if and as these lands become available for redevelopment. The expected lifespan of the asphalt refinery operations is currently projected at 20+ years, due to a combination of factors including, but not limited to, the recency of construction of structures on these parcels, the strategic location for refining aggregate in the surrounding region, and the strategic location for supplying asphalt to construction projects in the surrounding region.

The separation of the initial phases provides a gradual approach to development of the overall site, and accommodates emergency access requirements in two separate alignments.

FIGURE 25 | PHASE 1 - CIRCULATION AND EMERGENCY ACCESS



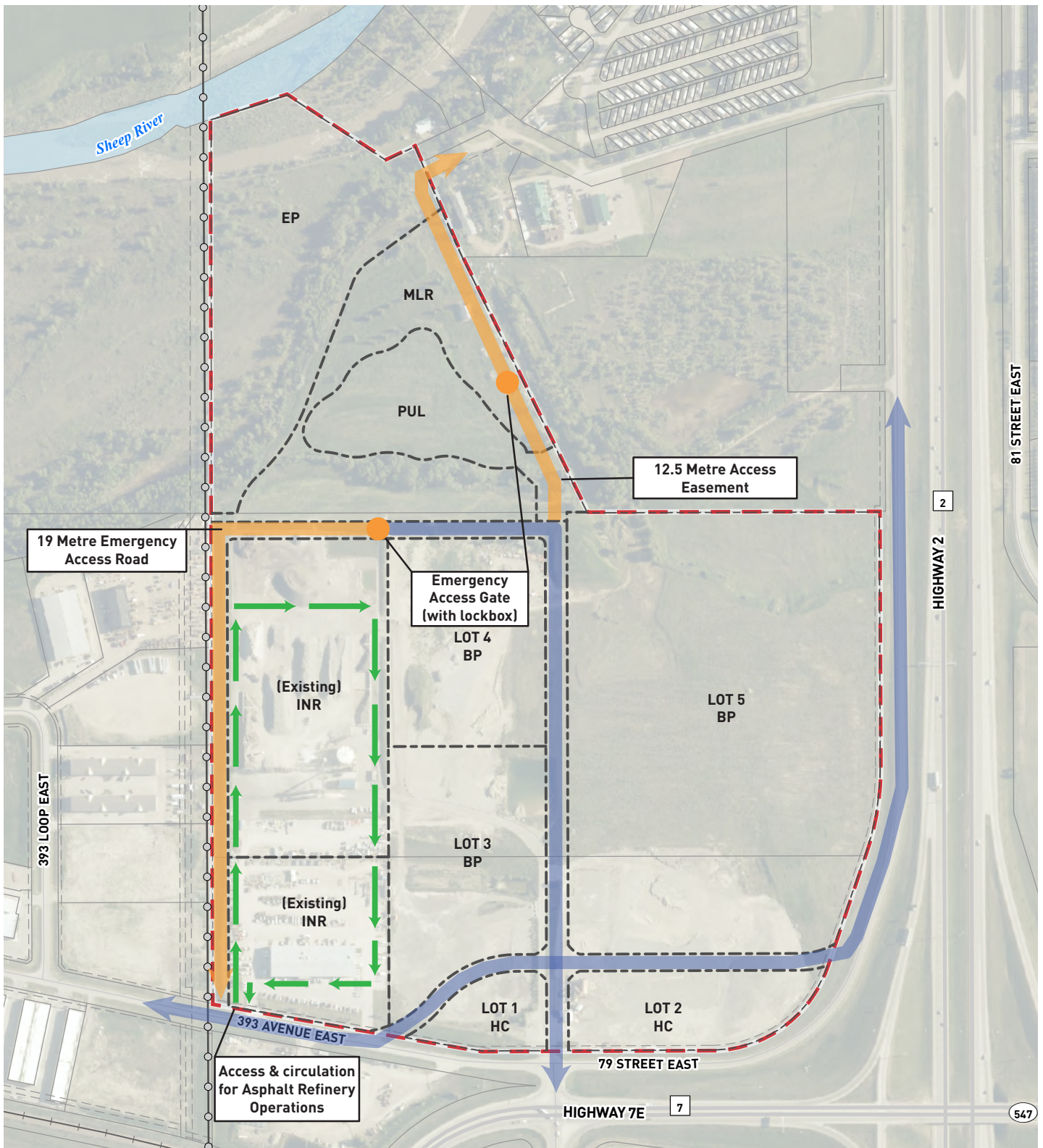
6.4.1 Development Phase 1:

Development Phase 1 will accomplish the following actions:

- + Subdivision of the total site to accommodate the road network as depicted in **Figure 23 – Proposed Subdivision**.
- + Creation of five (5) developable lots and one (1) public utility lot, as well as dedication of Municipal Reserve (MLR district) and Environmental Reserve (EP district), as depicted in **Figure 23 – Proposed Subdivision**.
- + Lots 3 and 4 to be prioritized for initial development, pending market conditions and tenant search.
- + Registration of 19.0 m access easement (to accommodate future dedication and construction of 19.0 m road right-of-way) the west and north of the existing INR parcels (Lot 3, Block 4, Plan 121 3109; Remainder of NE 13-2-29-W4). Road to remain undeveloped until Development Phase 2, to preserve existing site circulation of asphalt refinery operations and avoid utility relocation until deemed necessary
- + Registration of 12.5m access easement through MLR and EP parcels, connecting Country Lane Estates.
- + Registration of interim 12.5m emergency access easement through Lot 5, connecting east to 79 Street. This access will be discharged when Lot 5 is developed.

Lots 1 through 4 may be subdivided into smaller lots, if suitable tenants are found and operations are consistent with the land use district and design requirements detailed in this Outline Plan. Intended access and internal circulation for existing asphalt operations to shown in Figure 25: Phase 1 –Circulation and Emergency Access. Access and activity on the existing asphalt operations will be kept separate from the uses in the balance of the site as proposed in this Outline Plan.

FIGURE 26 | PHASE 2 – CIRCULATION AND EMERGENCY ACCESS



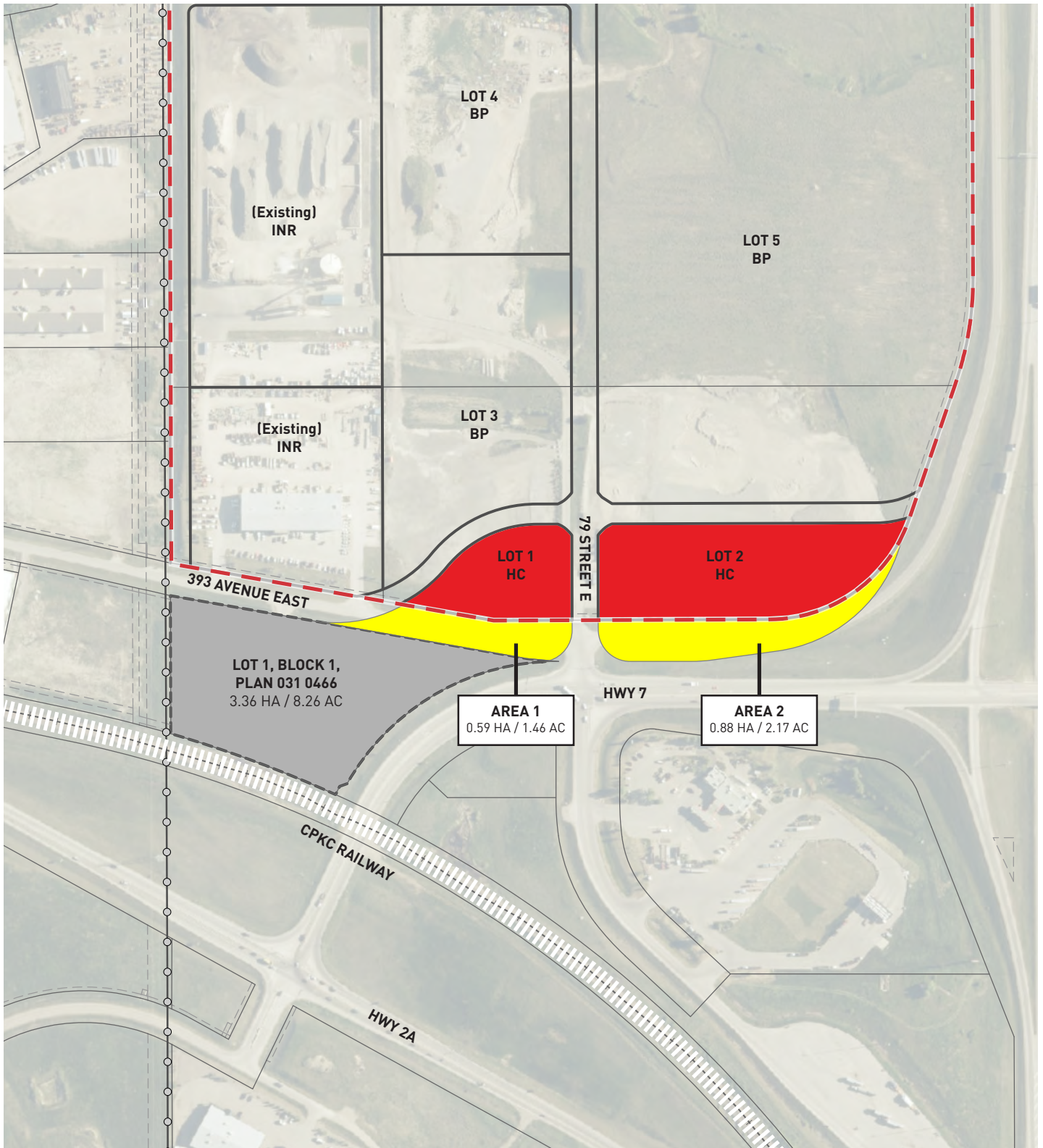
6.4.2 Development Phase 2:

Development Phase 2 will be triggered by the development of Lot 5. This phase will not be considered contingent on the full development of Lots 1 through 4, if a suitable tenant is found for Lot 5 in advance of Lots 1 through 4 being developed.

When Development Phase 2 is initiated, it will require the discharge of the 12.5 m emergency access easement through Lot 5, and will trigger the requirement to dedicate and construct the 19.0 metre road right-of-way along the north and west boundaries of the existing asphalt operations (Lot 3, Block 4, Plan 121 3109; Remainder of NE 13-2-29-W4) to accommodate a new emergency access alignment. To ensure that the activities between Phase 1 and 2 parcels remain separate from asphalt operations, a gate will be installed immediately north of the northwest corner of Lot 4, with a lockbox (or similar accommodations) for emergency vehicle operators.

Once developed, this road will replace the main access for asphalt operations at the SW corner of Lot 3, Block 4, Plan 121 3109. Phase 2 circulation for asphalt operations will remain consistent with Phase 1 circulation, as shown in **Figure 26: Phase 2 – Circulation and Emergency Access**

FIGURE 27 | PHASE 3 – SURRENDERED ROAD ROW REQUEST



6.4.3 Development Phase 3:

Development Phase 3 attends to the development of Lots 1 and 2. At the time of this Outline Plan’s submission, the developer has submitted a request to Foothills County and Alberta Transportation and Economic Corridors (ATEC) to acquire the portion of the 393 Avenue East road right-of-way that would be surrendered when this road is re-routed through the plan area as this Outline Plan proposes. The road right-of-way that this request is considering is generally represented in **Figure 27: Phase 3 – Surrendered Road ROW Request**. Discussions between the developer and staff from both ATEC and Foothills County took place prior to the submission of this Outline Plan, and were favorable toward this land swap.

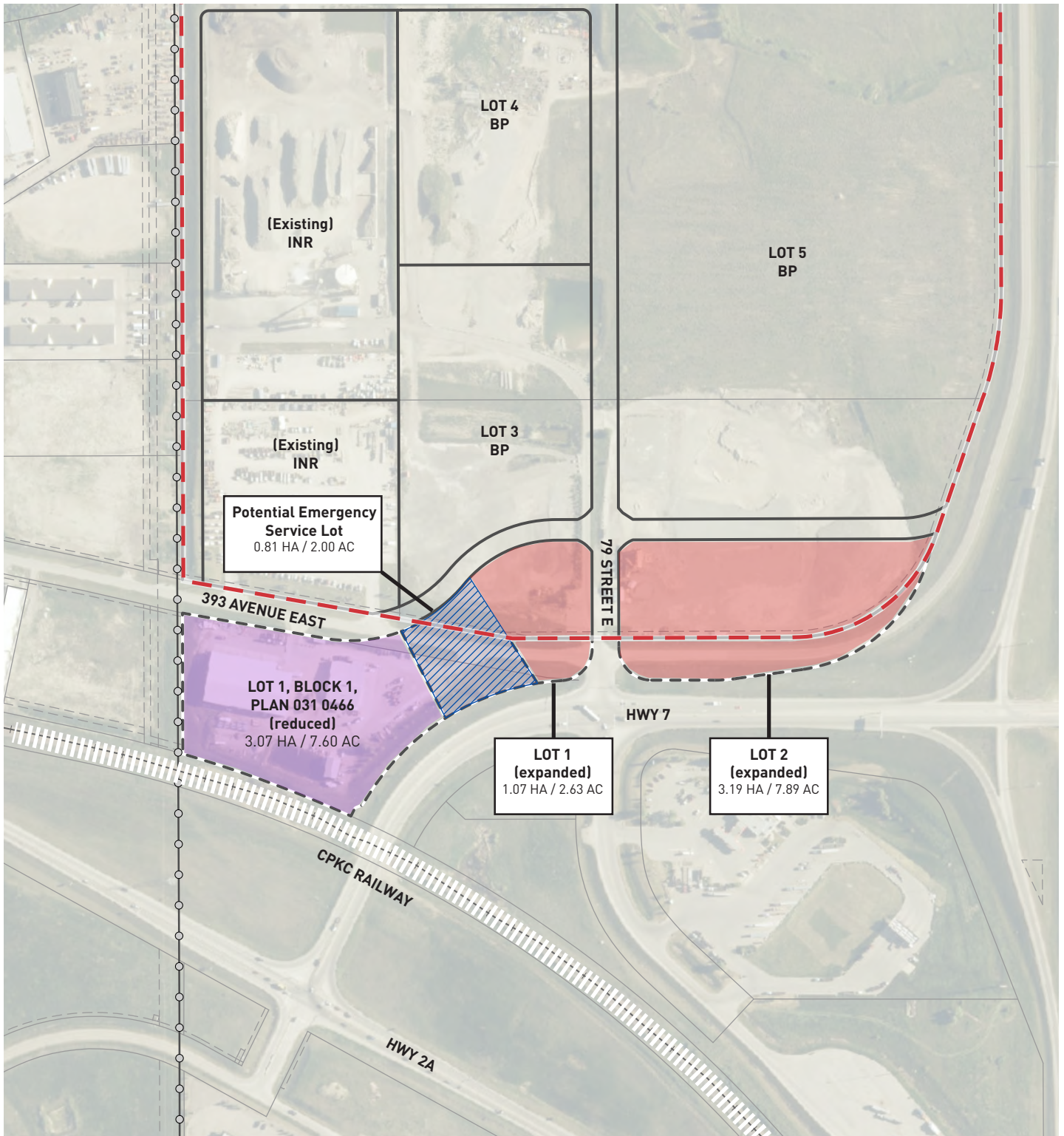
Development of Lots 1 and 2 will not proceed until this request has been reconciled – whether some, all, or none of this land is ultimately provided to the developer. This phase will not be considered contingent on the full development of lots 3, 4, or 5.

6.4.4 Future Development Phase(s):

Future development phases will take place once asphalt operations on site have reached the end of their lifecycle. At this time, the lands will require remediation and the INR parcels will need to be redesignated to ultimate uses that are consistent with the other uses currently proposed within the Outline Plan area. These changes will require an amendment to this Outline Plan as well as the Foothills County Land Use Bylaw. All access restrictions to the public road providing access to these Future Development Phases will be removed at this time.

Policy 6.4.4.1	<i>Development Phasing is expected to proceed within the Plan area as generally illustrated by Figure 24: Development Phasing and described in the accompanying section.</i>
Policy 6.4.4.2	<i>Determination of the specific number of parcels and their associated boundaries will require an amendment to this Plan once these lands are made available for redevelopment.</i>

FIGURE 28 | FUTURE EMERGENCY SERVICE FACILITY CONCEPT



Concept for discussion purposes only, all potential alignments shown are subject to change

6.4.5 Potential Foothills County Emergency Service Facility

During discussions between the developer and Foothills County staff in advance of the submission of this Outline Plan, County staff declared an interest in acquiring a parcel at the south boundary of the plan area to accommodate an emergency service facility, given its optimal location for a regional Fire Hall—which has been identified as a need in this area of the County. The developer has indicated an openness to accommodating the request.

Figure 28: Future Emergency Service Facility Concept provides a conceptual representation of how this could be achieved: with a new parcel generated by taking a portion of Lot 1, a portion of the orphaned 393 Avenue E road right-of-way as addressed in section 6.4.3 of this Outline Plan, and a portion of Lot 1, Block 1, Plan 031 0466 to the immediate southwest (which is held by the same landowner as the plan area). While the ultimate alignment of lot boundaries and accesses would be subject to further discussion, this concept provides the reader with an understanding of what is envisioned as a design solution.

This solution is conditional upon the request to acquire the orphaned road right-of-way, and the ultimate decision of ATEC and Foothills County staff. If this is approved, the solution considered herein provides an opportunity for the County to capitalize on the servicing connections that the Foothills Logistics Centre will bring to the area. This newly created lot would provided double frontage to both Highway 7 and the realigned 393 Ave E, but would need to be developed in such a way as to not disrupt the established operations hosted at Lot 1, Block 1, Plan 031 0466 (Volker Stevin Highways Ltd.).

Policy 6.4.5.1

At the subdivision stage, the developer shall enter into a conditional future development agreement that outlines the future subdivision and service district dedication as conceptually shown in Figure 28: Future Service District.

6.5 Business Lot Owner's Association

The developer will establish a Business Lot Owner's Association (BLOA) at the subdivision stage. The purpose of the BLOA will be to undertake other landscaping, maintenance, and other administrative functions as required by this Plan.

The BLOA will be responsible for the production and enforcement of a cohesive site maintenance plan that provides for critical site features and operations. The aspects that this plan attends to will include, but not be limited to, the following:

- + Engaging a recognized waste management provider and managing a contract with them for services on site.
- + Landscaping and maintenance of landscaped spaces on site.
- + A water conservation strategy, as required by policy 6.1.10 of the H2A IASP.
- + A snow removal and storage strategy.
- + A strategy for site security and maintenance.
- + Site signage, lighting, fencing, and other physical features.

Policy 6.5.1	<i>A Business Lot Owner's Association (BLOA) shall be established at the subdivision stage for the purposes of maintaining the administrative duties required by this plan.</i>
Policy 6.5.2	<i>The BLOA shall establish a cohesive plan that attends to landscaping, water conservation, waste management, maintenance, lighting, common storage, and snow removal on site, to the satisfaction of the County and appropriate approving bodies.</i>
Policy 6.5.3	<i>Design of pathway sections will be determined at subdivision stage, to the satisfaction of the County.</i>

6.6 Architectural Design Considerations

As previously described in this Plan, the configuration of commercial and industrial lots shall be in accordance with the parcel size and specific development regulatory requirements as established by the Foothills County Land Use Bylaw and the Highway 2A Industrial ASP: Design Guidelines.

6.6.1 Architectural Guidelines

The developer will establish and implement specific Architectural Guidelines to ensure all commercial and industrial development reflects a consistent style and coordinated theme. Specific benchmarks for exterior building criteria will be established to consider design elements such as:

- + *Maximum site coverage, including all buildings and impermeable surfaces, is 60% of the total lot area;*
- + *Site access and internal roadways must meet Foothills County standards and fire / emergency standards.*
- + *Pedestrian spaces and routes should be designed to invite walking throughout and around each development.*
- + *While it is recognized that many industrial uses will require buildings with a large footprint, buildings with large masses should be broken up into individual forms, rather than creating or projecting a consistent monolithic form;*
- + *Articulation of the facades, and roof line and the incorporation of details which create interest, such as changes in masses, material, or colour, is encouraged;*
- + *For both industrial and commercial uses, all buildings shall be constructed and finished with durable materials designed to maintain their initial appearance throughout the life of the project;*
- + *Use of architectural elements such as building overhangs, fins, mixed materials, louvers, reveals, or landscape elements such as deciduous trees to reduce solar heat gain and glare from windows especially on the south and east sides of buildings will be encouraged;*
- + *The defined entrances to buildings should be clearly identifiable as the primary point of arrival. This can be achieved through the use of large architectural elements (particularly strong vertical forms such as prominent height features) or a change in the roof line, the use of an overhang, landscaping or incorporating special materials such as stone or brick;*
- + *Areas of extensive ‘manicured’ exterior landscaping will be minimized in favour of natural drought resistant, native plantings that require minimal irrigation & maintenance requirements; and*
- + *Any exterior lighting of the site or building must be compliant with the Municipality’s Dark Sky Bylaw.*

The developer will register the Architectural Guidelines against the certificate of title for each property to advise the future owners of their specific development requirements. These requirements will be enforced at the building permit stage, via a mandatory review from a registered architect.



Policy 6.6.1.1	<i>The developer shall establish Architectural Guidelines to regulate specific commercial and industrial building criteria such as material finishes, colours, landscaping, exterior illumination, etc.</i>
Policy 6.6.1.2	<i>The developer shall register the Architectural Guidelines against the title of each lot to provide each owner with notice of their future development requirements.</i>
Policy 6.6.1.3	<i>Building permits shall be reviewed by the developer and a registered architect to ensure compliance with architectural guidelines as stated in this Outline Plan.</i>

6.6.2 Site Plan Requirements

All Site Plan drawings for subsequent subdivision and development applications shall be approximately to scale and include the following:

- + Arrow indicating north;
- + Boundaries of the property;
- + Any easements or rights of way existing on the parcel;
- + Building locations on the parcel (including future expansion areas if applicable);
- + Driveways, parking areas, and loading areas including curb details and surface materials and provisions for snow storage;
- + Sidewalks and any other paved areas;
- + Lot grading and drainage showing approved grades on the site;
- + The location and size of any stormwater management facilities;
- + Service lead-ins (storm, sanitary, water, hydro, gas and telephone);
- + Hydro poles, transformers, meters, fire hydrants, post indicator valves, Siamese connections;;
- + Fence and wall locations, design, height, materials and colours;
- + Exterior lighting location, design, colour and photometrics;
- + Exterior storage area and their screening (including garbage and recycling); and
- + Locations of any proposed signage, and details to sufficiently describe the design and the specifics of installation.

Policy 6.6.2.1	<i>Future development within each lot shall implement the objectives of the H2A/ASP Design Guidelines.</i>
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6.6.3 Entrance Feature

The developer should construct an entrance feature adjacent to the intended principal entry to site, which will be located in a conspicuous location near the current intersection of 393 Avenue E and 79 Street E. This entrance feature will be visible from along Highway 7 and will include signage with enhanced landscaping designed to provide an attractive gateway and thereby signal arrival to the project area. The specific design, location, and maintenance requirements of the Logistics Centre Entrance Feature will be confirmed at the subdivision stage.

Policy 6.6.3.1	<i>The developer shall construct an entrance feature.</i>
Policy 6.6.3.2	<i>The specific design, location, and maintenance responsibilities of the entrance feature(s) will be submitted as part of the applicable Development Permit.</i>
Policy 6.6.3.3	<i>A Roadside Development Permit shall be obtained from the Alberta Transportation and Economic Corridors, as required.</i>



6.6.4 Landscape Screening for Adjacent Uses

The Outline Plan proponent supports the concept of maintaining an appropriate transition between Highway 2 and the private development within the Foothills Logistics Centre. Specifically, the planned commercial-industrial lot(s) along the eastern portion of the Plan area. As part of the Landscaping Plan to be prepared at the subdivision stage, the developer shall implement specific landscaping treatments within the Plan Area as part of the lots facing Highway 2 in accordance with the design standards within the Highway 2A Industrial ASP: Design Guidelines for Enhanced Areas.

Policy 6.6.4.1	<i>The developer shall provide landscape improvements within business lots to provide visual buffering between the highway and the proposed building sites</i>
Policy 6.6.4.2	<i>The specific type, extent and allocation of these landscape improvements for private lands within the Outline Plan area will be determined at the development permit stage via preparation of a Landscaping Plan.</i>



Adjacent to pedestrian spaces



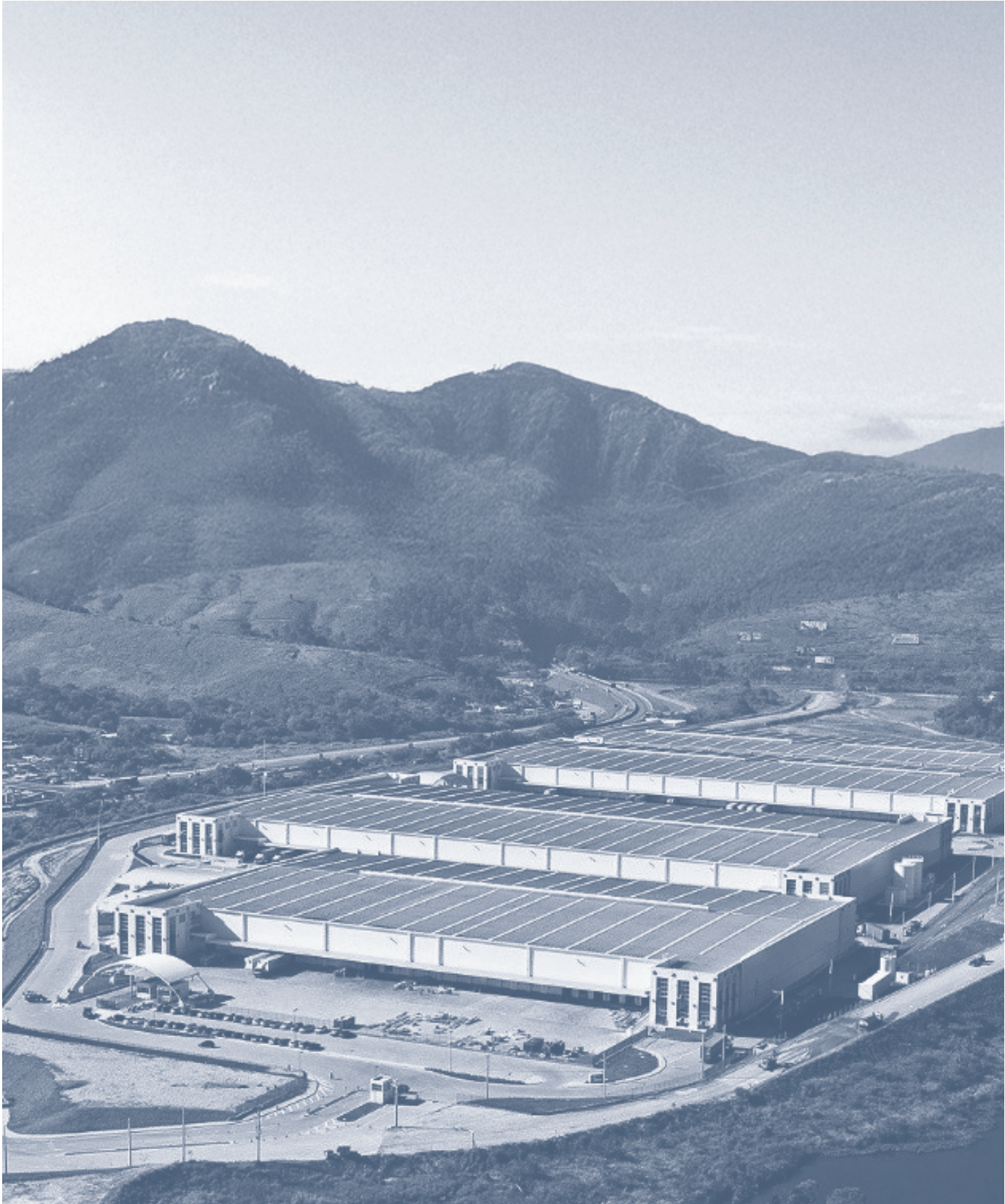
Screening of parking areas



Vegetated drainage swale



Roadside ditching for stormwater conveyance



6.6.5 Prescriptions to Support The Logistics Centre’s Operational Hours

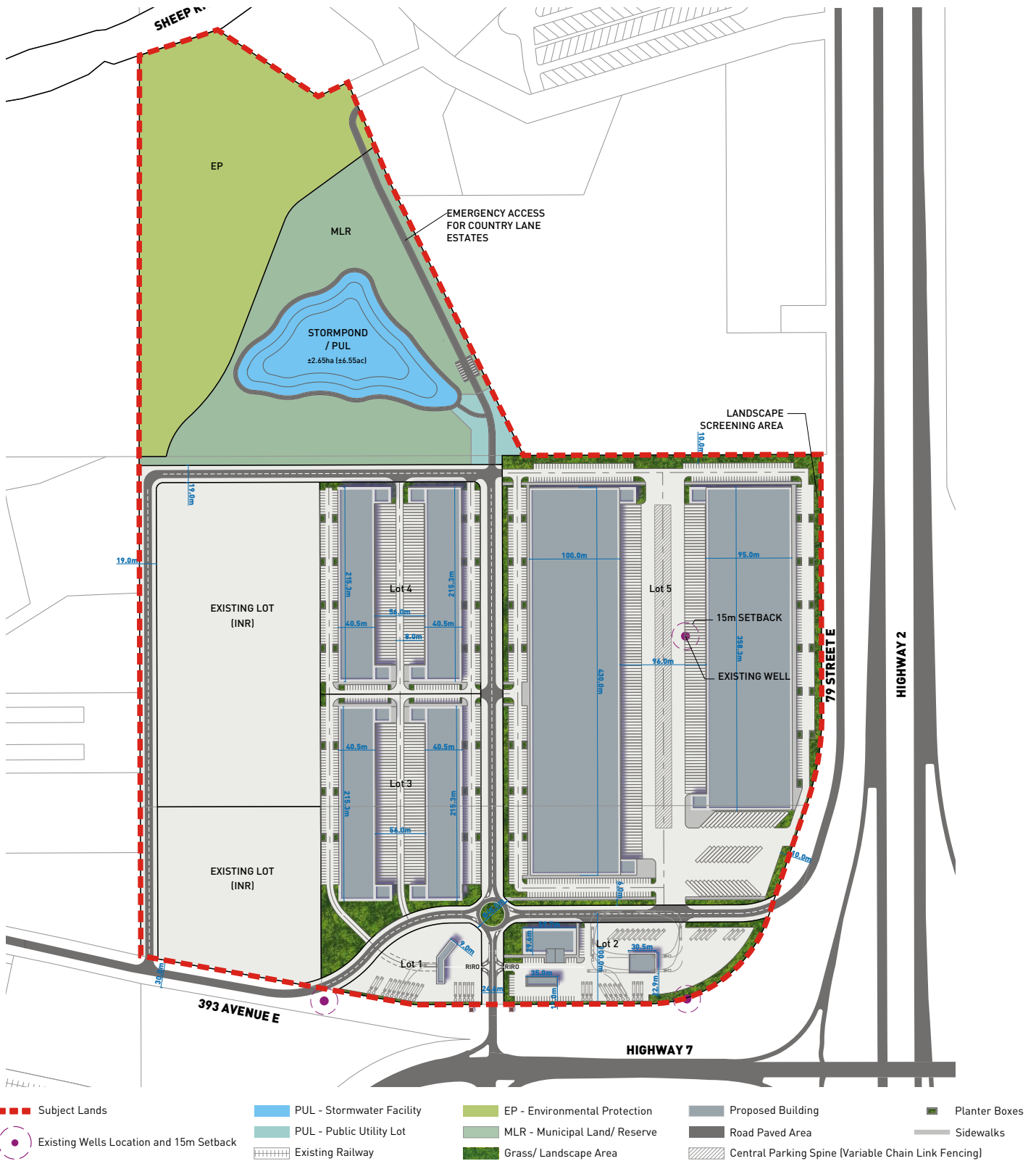
To support the intended goods movement and shipping uses on site, all parcel(s) with a Business Park (BP) district designation within the Outline Plan require the opportunity to remain operational during all hours of the day. The specific mechanisms to accommodate this requirement will be established at the development permit stage.

To support this requirement, exterior lighting on these parcels must be compliant with the municipality’s Dark Sky Bylaw and operations supporting pick-up and drop-off of cargo on site should be directed away from public roads and highways and masked by the buildings on site.

Wherever possible, the orientation and articulation of building design should be used to screen these operations from the surrounding residential areas.

<p>Policy 6.6.5.1</p>	<p><i>Exterior lighting on parcels within this site carrying a Business Park (BP) district or Highway Commercial (HC) district designation shall be compliant with Foothills County Bylaw 27/2009, also known as the Dark Sky Bylaw.</i></p>
<p>Policy 6.6.5.2</p>	<p><i>Operation of motor vehicles, speaker systems, and other possible sources of noise shall be compliant with Part 3 of Foothills County Bylaw 45/2013, also known as the Community Standards Bylaw.</i></p>
<p>Policy 6.6.5.3</p>	<p><i>Operations on BP District parcels supporting cargo pick-up and drop-off should be directed away from public roads and highways.</i></p>
<p>Policy 6.6.5.4</p>	<p><i>Should future development phases include parcels that are redesignated to either a Business Park (BP) district or Highway Commercial (HC) district, the operations policies of this section shall also apply to these parcels</i></p>

FIGURE 29 | ILLUSTRATIVE CONCEPT PLAN



6.7 Illustrative Development Concept

The policy framework of this Outline Plan is intended to facilitate the developer’s immediate objective of developing the Phase 1 portion of the Plan area, which has been previously detailed within this section through considerations of land use, subdivision, open space, and other essential components. **Figure 25: Illustrative Concept Plan** is provided for the benefit of reviewers, with additional detail for provided for site features and articulation as they are currently proposed.

Policy 6.7.1	<i>Development of the initial phase within this Outline Plan area is expected to proceed as generally illustrated within Figure 24: Illustrative Concept Plan</i>
Policy 6.7.2	<i>Final orientation of site layout and design features for each phase shall be determined at the subdivision and/or development permit stage.</i>



SUPPORTING | TECHNICAL INFORMATION

7.0



7.0 Supporting Technical Information

- + B&A – Engagement Summary Report
- + Englobe – Preliminary Geotechnical Assessment
- + ISL Engineering – Site Servicing Report
- + ISL Engineering – Stormwater Management Report
- + ISL Engineering – Traffic Impact Assessment
- + ISL Engineering – Biophysical Impact Assessment
- + Trace & Associates – Phase 1 Environmental Site Assessment
- + Trace & Associates - Phase 2 Environmental Site Assessment
- + Lifeways – Historical Resource Impact Assessment
- + LA West – Landscape Plan



**FOOTHILLS LOGISTICS CENTRE
OUTLINE PLAN**

 **VolkerWessels**